

Council Members

Roger Manning-Mayor
Katrina Long Robinson-Vice Mayor
John Stanavitch-Seat 1
Kara Crump-Seat 2
Phillip Everett-Seat 3



City of Westlake

4001 Seminole Pratt Whitney Rd.
Westlake, Florida 33470
Phone: 561-530-5880
Fax: 561-790-5466

Council Workshop

Monday, May 13, 2019

Meeting Location

Westlake Council Chambers

4005 Seminole Pratt-Whitney Road

Westlake, FL 33470

6:00 p.m.

PLEASE TAKE NOTICE AND BE ADVISED, that if any interested person desires to appeal any decision made by the City Council with respect to any matter considered at this meeting or hearing, such interested person will need a record of the proceedings and for such purpose may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The meeting/hearing may be continued to another date and time as may be found necessary during the aforesaid meeting. In accordance with the provisions of the Americans with Disabilities Act (ADA), any person requiring special accommodations at these meetings because of disability or physical impairment should contact the Interim City Manager at (954)753-5841 at least two (2) calendar days prior to the meeting.

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May 7, 2019

City Council
City of Westlake

Dear Mayor and Council:

The City Council of the City of Westlake will hold a Workshop on Monday, May 13, 2019 at 6:00 p.m. at the Westlake Council Chambers, 4005 Seminole Pratt Whitney Road, Westlake, Florida. Following is the advance agenda for the meeting.

1. Call to Order/ Roll Call
2. Presentation on Off Street Parking and Loading
3. Adjournment

Any additional supporting material for the items listed above, not included in the agenda package, will be distributed at the meeting. Staff will present their reports at the meeting. I look forward to seeing you, but in the meantime if you have any questions, please contact me.

Sincerely,

Kenneth Cassel

Kenneth G. Cassel
City Manager

cc: Pam E. Booker, Esq.
Terry Lewis
John Carter
Kelley Burke

Second Order of Business



CITY OF WESTLAKE

CITY COUNCIL WORKSHOP
Off Street Parking and
Loading

CITY OF WESTLAKE

- ▶ Incorporated June 20, 2016
- ▶ Comprehensive Plan - Adopted March 2018
- ▶ City Code of Ordinances
 - ▶ City Charter
 - ▶ 25 Chapters
 - ▶ December 17th Workshop at 6:30 PM
 - ▶ Multiple Articles and Sections

Sec. 78-341 - Intent

A. This article is intended to ensure that adequate off-street parking is provided to meet the parking needs of all uses located within the city. All parking areas shall be designed and located for the following purposes:

- To serve the use for which constructed;
- To protect the public safety; and,
- To mitigate potential adverse impacts on adjacent uses.

B. The owner, developer, or operator of a specific use shall be responsible to provide and maintain adequate off-street parking to meet the specific characteristics of a use or combination of uses located on a site or property.

Design and Construction Standards

Dimensions

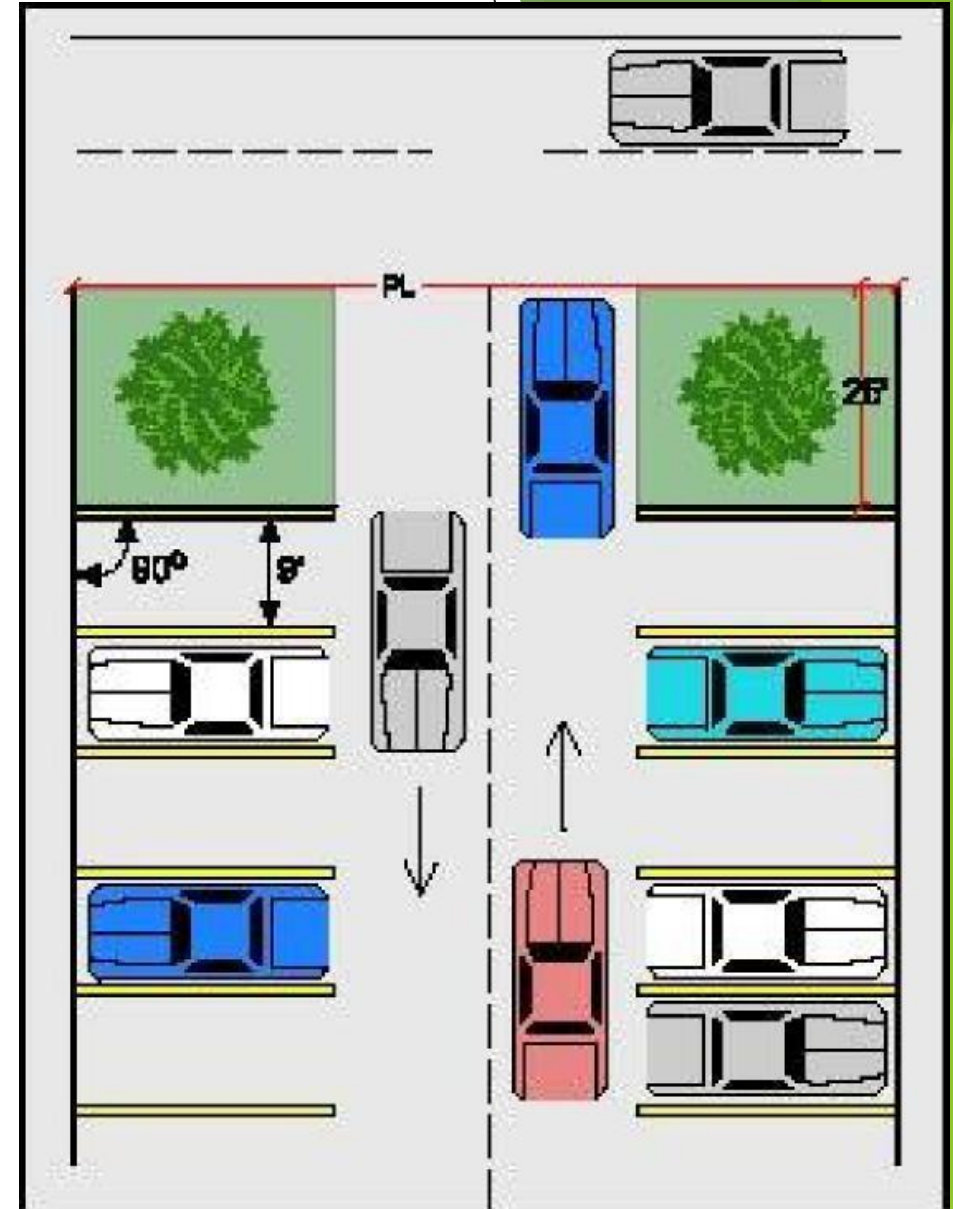
The dimensions and geometrics of off-street parking areas shall conform to the following minimum standards.

1. Residential

- a) Individual Parking Space
- b) Common Parking Lots

2. Nonresidential

All nonresidential uses and residential uses with shared parking lots shall provide parking spaces that comply with Table 6.A.1.D



Design and Construction Standards

Parallel Parking

Parallel parking spaces shall have a minimum length of 21 feet and a minimum width of 9 feet

Figure 6.A.1.D- Parallel Parking Dimensional Standard

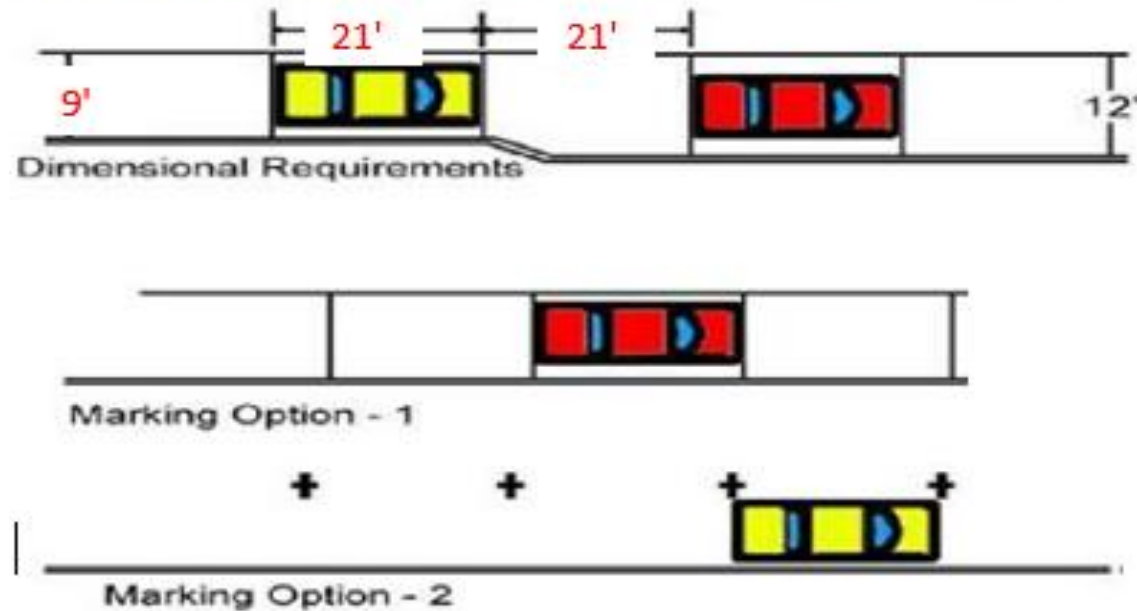


Figure 6.A.1.D - Parallel Parking

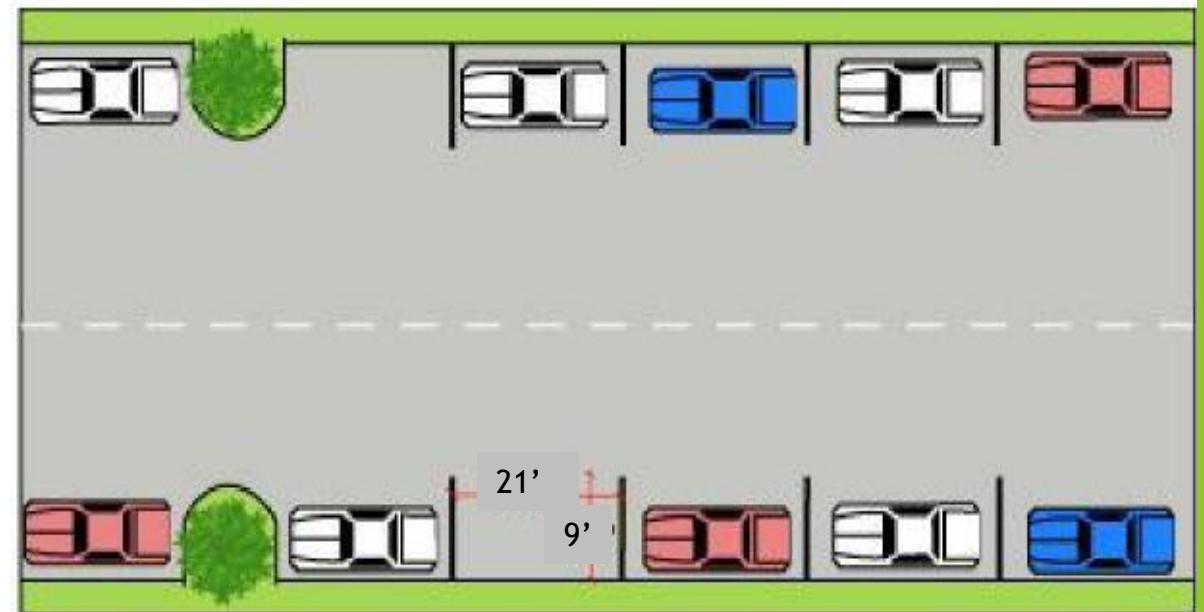
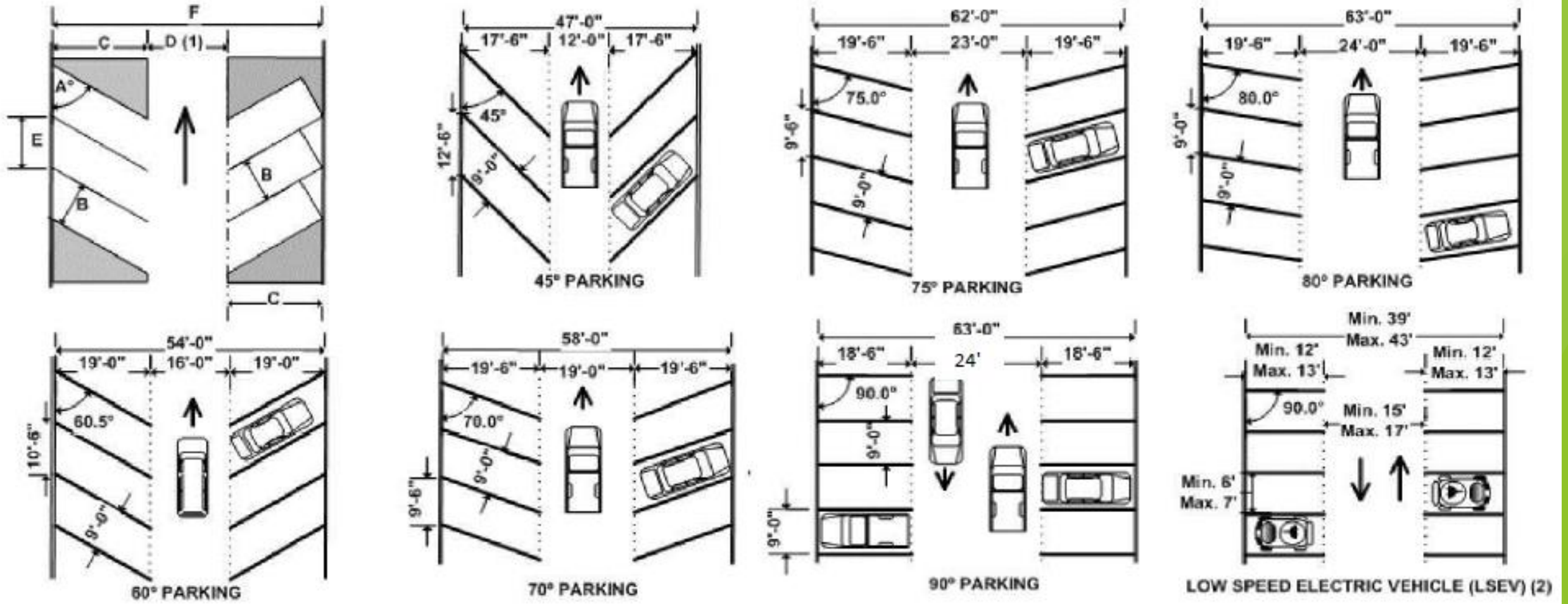


Table 6.A.1.D - Minimum Parking Dimensions for Nonresidential Uses and Residential Uses with Shared Parking Lots

| A Angle | Use (1) | B Space Width (feet) | C Space Depth (feet) | D Aisle Width (feet) | E Curb Length (feet) | F Module Width (feet) |
|------------|--|-------------------------------|-------------------------------|-------------------------------|-------------------------------|--------------------------------|
| 45 | General | 9.0 | 17.5 | 12.0 | 12.5 | 47.0 |
| | Retail | 9.5 | 17.5 | 12.0 | 13.5 | 47.0 |
| | Handicapped | 12.0 | 17.5 | 12.0 | 17.0 | 47.0 |
| 60 | General | 9.0 | 19.0 | 16.0 | 10.5 | 54.0 |
| | Retail | 9.5 | 19.0 | 15.0 | 11.0 | 53.0 |
| | Handicapped | 12.0 | 19.0 | 14.0 | 14.0 | 52.0 |
| 70 | General | 9.0 | 19.5 | 19.0 | 9.5 | 58.0 |
| | Retail | 9.5 | 19.5 | 18.0 | 10.0 | 57.0 |
| | Handicapped | 12.0 | 19.5 | 17.0 | 12.5 | 56.0 |
| 75 | General | 9.0 | 19.5 | 23.0 | 9.5 | 62.0 |
| | Retail | 9.5 | 19.5 | 22.0 | 10.0 | 61.0 |
| | Handicapped | 12.0 | 19.5 | 21.0 | 12.5 | 60.0 |
| 80 | General | 9.0 | 19.5 | 24.0 | 9.0 | 63.0 |
| | Retail | 9.5 | 19.5 | 23.0 | 9.5 | 62.0 |
| | Handicapped | 12.0 | 19.5 | 22.0 | 12.0 | 61.0 |
| 90 | General | 9.0 | 18.5 | 24.0 | 9.0 | 63.0 |
| | Retail | 9.0 | 18.5 | 24.0 | 9.5 | 62.0 |
| | Handicapped | 12.0 | 18.5 | 24.0 | 12.0 | 61.0 |
| 90 | Low Speed Electric Vehicle (LSEV) | Min. 6.0 Max 7.0 | Min. 12.0 Max. 13.0 | Min. 15.0 Max. 17.0 (2) | Min. 6.0 Max. 7.0 | Min. 39.0 Max. 43.0 (2) |

Notes:

Figure 6.A.1.D – Typical Example of General Parking Schematic



Design and Construction Standards

There shall be safe, adequate, and convenient arrangement of pedestrian pathways, bikeways, roads, driveways, and off-street parking and loading spaces within parking areas.

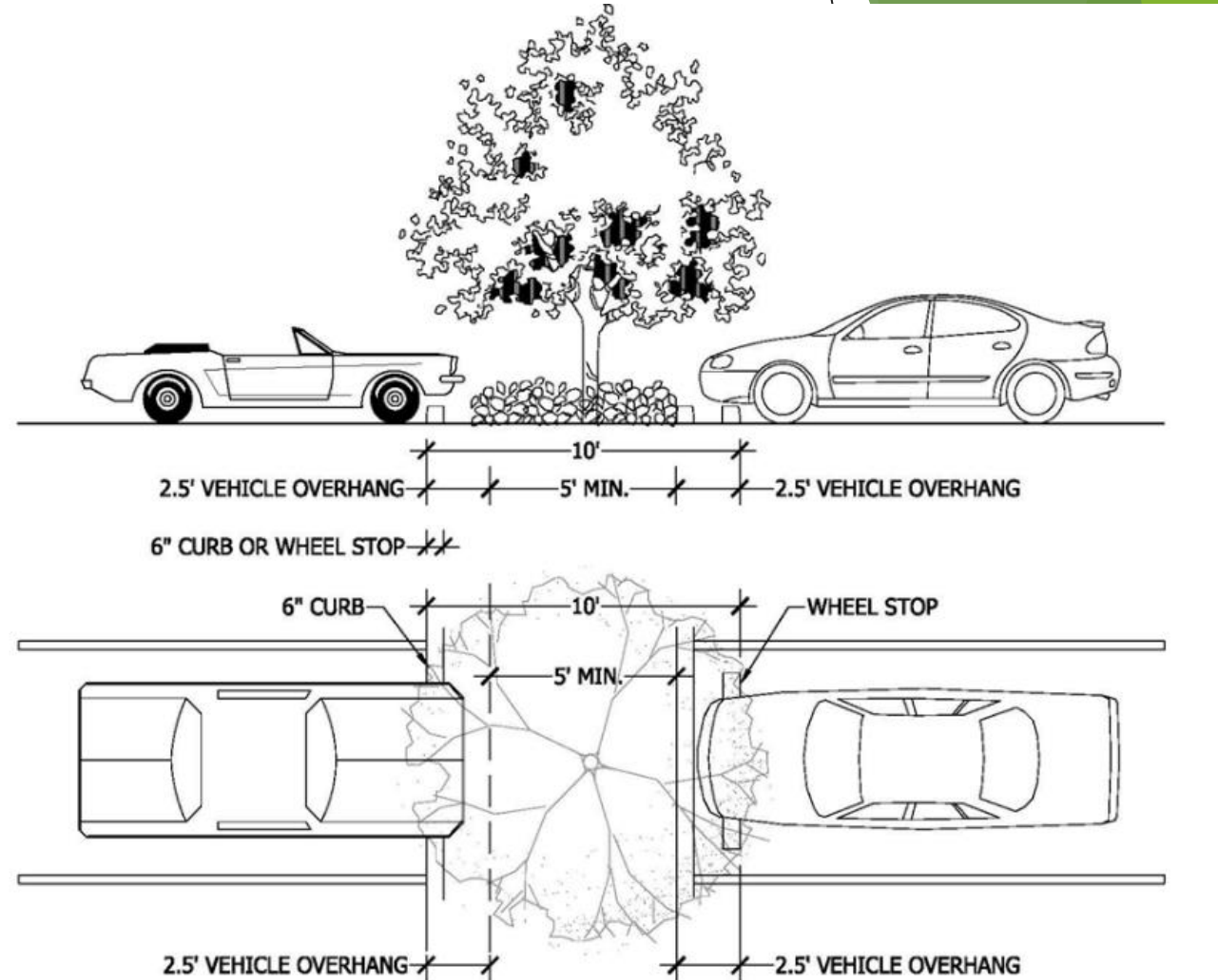
Streets, pedestrian walks, parking areas, and open space shall be designed as integral parts of an overall site design which shall be properly related to existing and proposed buildings, adjacent uses and landscaped areas.



Design and Construction Standards

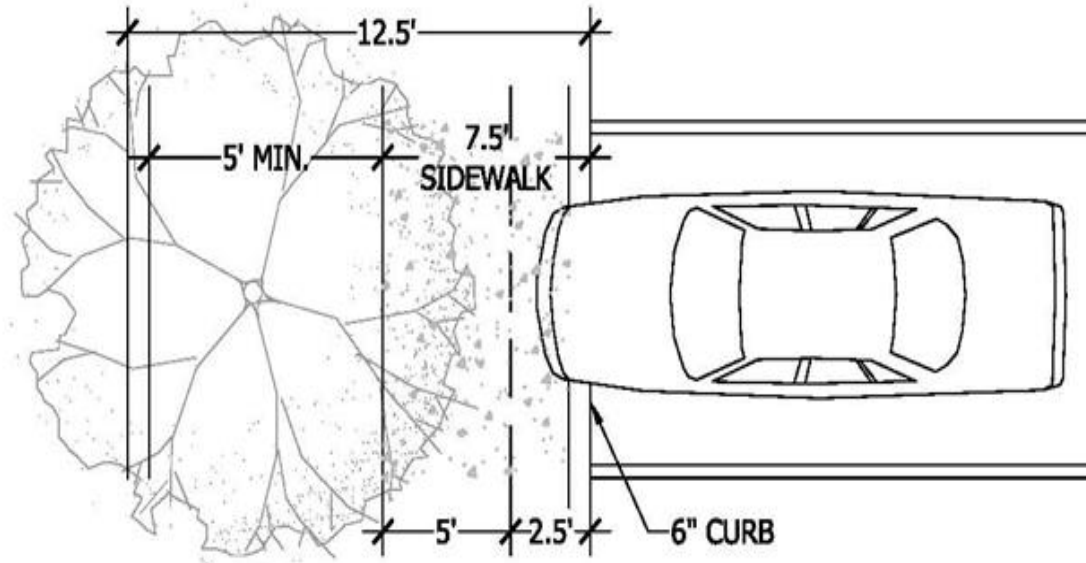
Wheel-Stops and Curbing

Wheel stops or continuous curbing shall be placed two-and one-half feet back from walls, poles, structures, pedestrian walkways and landscaped areas. Wheel-stops and curbing shall be six inches (6") high.



Design and Construction Standards

Wheel-Stops and Curbing

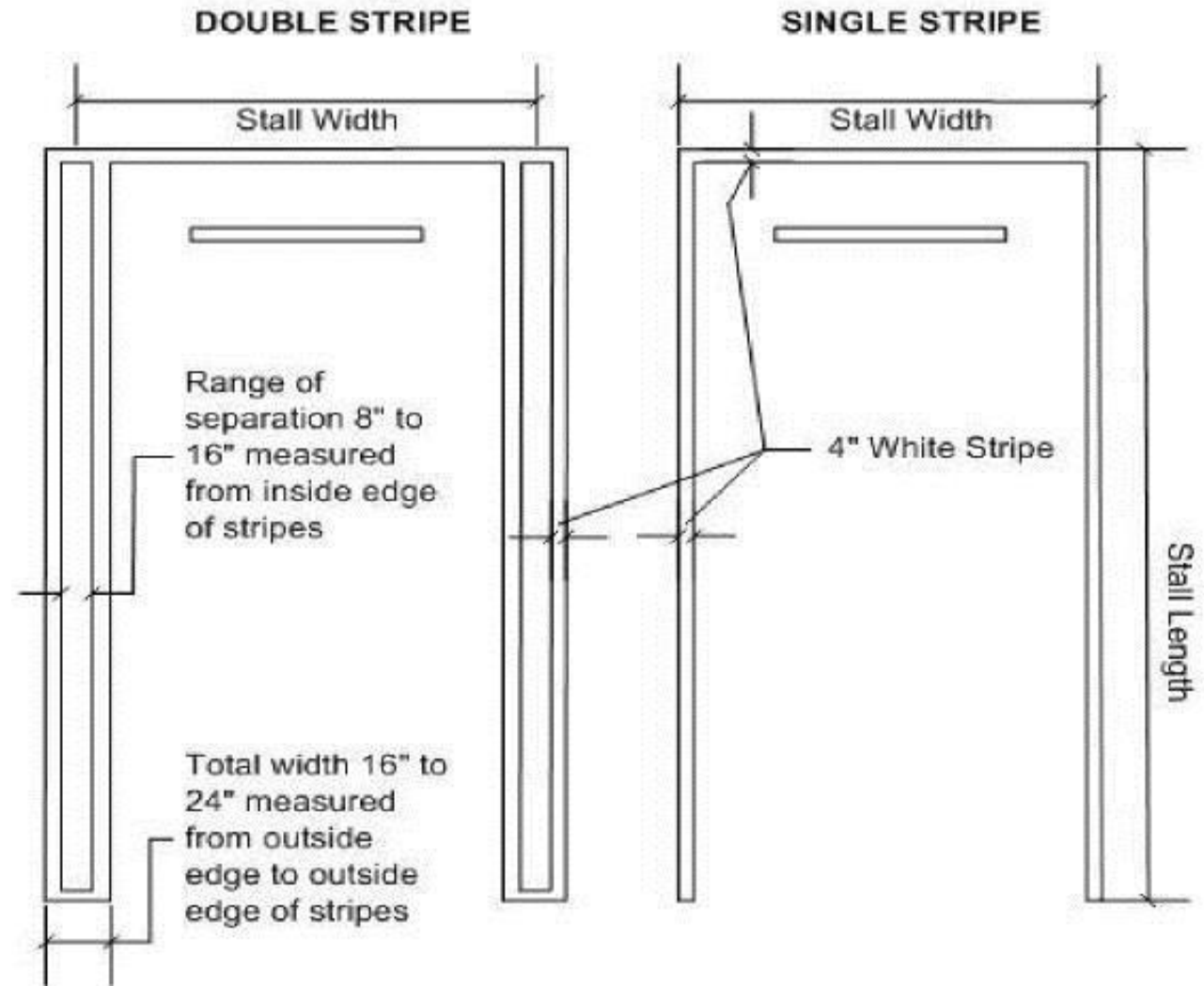


If there is no wheel stop abutting a curbed sidewalk or landscaped area, a two and one-half foot vehicle overhang shall be provided which cannot contain trees or count towards the required landscaping or the minimum sidewalk width.

Design and Construction Standards

Striping

- ▶ Each space shall be delineated by single or double stripes on each side of the space. All stripes shall be delineated in white paint, thermal plastic coating, or pavers, except for handicapped spaces which shall have blue stripes.
- ▶ The width of the delineated stripe shall be four inches.



Access Dimensions

Access ways, except those associated with a single-family residential use, shall be subject to the following dimensional standards.

Table 6.A.1.D-4 - Dimensions of Access Ways [This table retained per City Engineer.]

| Minimum Width at Street | Feet (1) |
|--|-------------------|
| One-Way | 20 |
| Two-way with median | 40 ⁽²⁾ |
| Two-way without median | 35 |
| Right Turn Radius (3) | |
| Minimum | 25 |
| Maximum | 30 |
| Notes: | |
| 1. Widths exceeding these standards may be approved by the Zoning Director or the City Engineer, depending on the use. | |
| 2. Width excludes median. 20-foot unobstructed pavement required on both sides of median, excluding guardhouses and landscape islands. | |
| 3. Measured on side of driveway exposed to entry or exit by right turning vehicles. | |

Queuing and Bypass Standards

| Use | Number of Spaces | Required By-pass (1) |
|---|---|----------------------|
| Drive-Thru Financial Institution Teller Lanes | 5 | Y N |
| Automatic Teller Lanes | 3 | |
| Drive-Thru Restaurant Minimum before Menu Board | 7 | Y |
| | 4 | |
| Drive-Thru Car Wash Automatic | 5 | N Y |
| Self-Service | 3 | |
| Drive-Thru Oil Change | 4 | Y |
| Gasoline Pump Island | 20 feet of queuing at each end of pump island | N |
| Drive-Thru Dry Cleaning or Laundry | 3 | Y |
| Drive-Thru General Retail | 4 | Y |
| Commercial Parking Lot | 3 | N |
| High Intensity Drive-Thru | <u>12</u> | <u>Y</u> |
| Notes: | | |
| 1. All Uses: a by-pass lane shall be required if more than 5 queuing spaces are provided. | | |

Parking Structure Standards General

Parking garages may be used to meet off-street parking requirements for any use or combination of uses. Such structures shall be considered accessory to the principal use. Design features on parking structures shall include the use of architectural details to reduce massing, and the incorporation of landscaping to provide visual relief.



Floor Width

The unobstructed distance between columns or walls measured at any point between the ends of the parking aisle shall be as indicated in **Table 6.A.1.D- Minimum Floor Width**.

Table 6.A.1.D - Minimum Floor Width

| Angle | Parking on Both Sides of Aisle | Parking on One Side of Aisle |
|---|--------------------------------|------------------------------|
| 90 | 60 feet one-or two-way aisle | 43 feet one-or two way aisle |
| 75 | 59 feet one-way aisle (1) | 40 feet one-way aisle |
| 60 | 53 feet one-way aisle (1) | 34 feet one-way aisle |
| Notes: | | |
| 1. Requests for reductions of unobstructed distances will be considered if aisle and sight parking dimensions are met, and the columns are not located at the rear of the parking spaces, or interfere with the opening of doors. | | |

Required Off-Street Parking Spaces

- ❖ **Required spaces.** The number of off-street parking spaces required for individual uses is established in Table 33. The standards established in this section provide the minimum vehicular parking requirements for the various uses as classified. As indicated in Table 33, the planning and zoning director may request additional information to demonstrate compliance with overall parking demand.
- ❖ **Mixed uses.** For mixed use projects approved by the city council with a specific percentage of individual uses, total off-street parking requirements shall be calculated based upon the requirements applicable to each individual use. For commercial shopping centers or other centers which may provide a variety of mixed uses, the parking requirements for a shopping center shall apply.

| USE/CATEGORY | SPACES REQUIRED | NOTES |
|--|---|--|
| RESIDENTIAL | | |
| Dwelling, <u>Single-Family Detached</u> | 2 spaces per unit plus minimum of 4% of total required spaces for guest parking | Guest parking required |
| Dwelling, <u>Multi-Family</u> | 1 space per unit plus minimum of 4% of total required spaces for guest parking | Guest parking required |
| Dwelling, <u>Single-Family Attached</u> | 2 spaces per unit plus minimum of 4% of total required spaces for guest parking | Guest parking required |
| <u>Dwelling, Mobile Home/Manufactured Home</u> | 1 space per unit plus minimum of 4% of total spaces for guest parking | Guest parking required |
| Hotel/Motel, Boarding or Rooming House | .75 spaces per room plus 1 space per 300 SF of office/event space, plus 1 space per 300 SF of restaurant. * *Parking requirement for additional uses within the hotel/motel, provided that they are generally for the use of hotel/motel guests and are advertised as such. | |
| Residence Hall or Dormitory | 0.75 spaces resident | [See current ULDC parking requirements table attached: 1.25 spaces per room required for “Hotel, Motel, SRO, Rooming and Boarding” (page 40).] |
| Community Residential Home, Type I (6 or less residents) | Greater of 2 spaces per unit or 1 space for each bedroom | [Reference Sec. 419.001 FS in Definitions.] Comp Plan: Foster care facilities and group homes |
| Community Residential Home, Type II (7–14 residents) | 1 space per 4 residents | [Reference Sec. 419.001 FS in Definitions.] Comp Plan: Foster care facilities and group homes |
| Assisted Living Facility (1 or more residents) | 1.25 space per dwelling unit for independent living; 1 space per 2 beds for assisted living; 1 space per 4 beds plus 1 space per 350 square feet of office space for skilled nursing facility | [Guest Parking?] |
| RETAIL & COMMERCIAL | | |
| Adult Entertainment | 1 space per 250 square feet | |
| Antique Store | 1 space per 400 square feet | |
| Appliance and Electronics Store | 1 space per 400 square feet | |
| Auto Repair, | 1 space per 300 square feet plus 1 space per repair bay | [Includes uses such as Tire Kingdom, Pep Boys, Jiffy Lube, auto repair shops without retail sales, etc.] |
| Auto Dealership | 1 space per 250 square feet of enclosed display area and offices plus 1 space per 4,500 square feet of outdoor sales, display and rental plus 1 space for every 2 service bays* *Vehicle sales, storage, or display areas shall not be counted towards meeting required parking. | At least 1 off-street loading/unloading space for auto transport trailers shall be provided. |
| Auto Rental, Accessory | 1 space per 600 square feet of storage area | |
| Bakery | 1 space per 300 square feet | |
| Barber/Beauty Supplies and Equipment Sales | 1 space per 300 square feet | |

| USE/CATEGORY | SPACES REQUIRED | NOTES |
|---|--|---|
| Banquet Facility | 1 space per 125 feet of indoor and outdoor assembly area | |
| Bicycle Sales and Repair | 1 space per 300 square feet | |
| Boat and Marine Sales | 1 space per 300 square feet | |
| Bookstore | 1 space per 300 square feet | |
| Car Wash/Auto Detailing | 1 space per 300 square feet plus 1 space for every 2 bays | [Includes employee parking and stalls for finishing/detailing.] |
| Convenience Store with Gas Sales | 1 space per 240 square feet plus 1 space-per bay | |
| Convenience Store without Gas Sales | 1 space per 240 square feet | |
| Drugstore or Pharmacy, General <u>with or without Drive-Through</u> | 1 space per 240 square feet | |
| Drugstore or Pharmacy, General, | 1 space per 300 square feet | |
| Farm Equipment and Sales | 1 space per 250 square feet of enclosed display area and offices plus 1 space per 4,500 square feet of outdoor sales, display and rental plus 1 space for every 2 service bays | At least 1 off-street loading/unloading space for equipment transport trailers shall be provided. |
| Feedstore | 1 space per 300 square feet | |
| Fruit and Vegetable Market | 1 space per 300 square feet | |
| Grocery Store/ <u>Supermarket</u> | 1 space per 240 square feet | |
| Landscape, Nursery, and Garden Supplies | 1 space per 300 square feet plus 1 space per 1,200 square feet of outdoor display area | |
| Motorcycle Sales and Service | 1 space per 600 square feet of enclosed display area and offices plus 1 space per 5,400 square feet of outdoor sales, display and rental plus 1 space for every 2 service bays | |
| Nightclub, Bar, or Lounge | 1 space per 2 seats but not less than 1 space per 100 square feet | |
| Restaurant, Fast Food (with or without Drive-through) | 1 space per 150 gross square feet including outdoor seating, plus 1 space per 250-square feet for employee parking | |
| Restaurant, General, <u>without Bar</u> | 1 space per 150 gross square feet including outdoor seating, plus 1 space per 250-square feet for employee parking | |
| Restaurant, General, <u>with Bar</u> | 1 space per 100 gross square feet including outdoor seating, plus 1 space per 250-square feet for employee | |

| USE/CATEGORY | SPACES REQUIRED | NOTES |
|---|--|---|
| Restaurant, Take Out | 1 space per gross square feet including outdoor seating, plus 1 space per 250-square feet for employee parking | Parking study can be requested by city or provided by applicant to demonstrate overall parking demand. |
| Retail, General | 1 space per 300 square feet | |
| Shopping Center/Mixed Uses | 1 space per feet 225 square feet | Unless adequate parking is provided, not more than 25% of gross floor area of shopping center can be used for restaurant purposes. *Parking for movie theaters to be calculated separately. |
| Showrooms, General | 1 space per 500 600 square feet | |
| PERSONAL SERVICES | | |
| Animal Boarding Kennel <u>and</u> Pet Grooming | 1 space per 400 square feet of office | |
| Auto/Truck Fleet Maintenance/ <u>Repair</u> Shops and Garages | 1 space per 300 square feet plus 1 spaces per repair bay plus 1 space per 5,400 square feet of outdoor storage area | |
| Automatic/Self-Serve Car Wash | 1 space per 300 square feet | |
| Bank/Financial Institution <u>with or without</u> Drive Through | 1 space per 300 square feet | |
| Barber/Beauty Shops | 1 space per 300 square feet | |
| Business, Trade and Vocational Schools | 1 space for every 3 students plus 1 space per 360 square feet of classroom and office space plus 1 space for every 5 seats in gymnasiums and auditoriums | |
| Catering Service | 1 space per 300 square feet | |
| Cemetery, Funeral Home, Mausoleum | 1 space per 200 square feet of office space plus 1 space per 100 feet of assembly area | |
| Clinic, Medical or Dental | 1 space per 240 square feet | |
| Clinic, Veterinary | 1 space per 300 square feet | |
| Contractor's Storage Yard | 1 space per 300 square feet of office plus 1 space per 20,000 square feet of open storage area | |
| Day Care, Child and Adult | 1 space per 12 students or clients plus 1 pickup/drop off space per 12 students plus 1 space per every 2 vans and/or buses | |
| Dry Cleaning | 1 space per 300 square feet | |
| Emergency Health Care, Standalone, No Overnight Stay | 1 space per 110 square feet [11 per 1,000 sq. ft per Dr. Pennock] | [UHS used "Medical or Dental Office" requirements: 1 space per 200 square feet (see page 41).] |

| USE/CATEGORY | SPACES REQUIRED | NOTES |
|--|--|--|
| Express or Parcel Delivery Distribution Center | 1 space per 1,200 square feet plus 1 space for every 2 bays | |
| Health, Physical Fitness, Massage Therapist, and Spa | 1 space per 250 square feet | |
| Housekeeping and Janitorial Services | 1 space per 300 square feet plus 1 space for every 2 company vehicles | |
| Laboratory, General | 1 space per 300 square feet | |
| Laboratory, Dental or Medical | 1 space per 300 square feet | |
| Laundry, Self Service | 1 space per 240 square feet | |
| Laundry, Linen Supply and Cleaning Service | 1 space per 1,200 square feet plus 1 space for every 2 bays | |
| Mail and Packing Store, Private | 1 space per 300 square feet | |
| Marina, Commercial | 1 space per 3 wet slips plus 1 space per 6 dry slips plus the greater of 1 space per 240 square feet of accessory uses or required parking for additional use (lounge, retail, restaurant, etc.) | |
| Motion Picture Studio | 1 space per 360 square feet of office space plus 6 spaces per studio plus 1 space per 1,200 square feet | |
| Nursing Home or Convalescent Facility | 1 space per 5 beds plus 1 space per 300 square feet of office space | [Comp. plan: Continuing care facilities and nursing homes] |
| Self Service Storage | 1 space per 150 storage spaces plus 1 spaces per security quarters plus 3 spaces per office | |
| Shoe Repair | 1 space per 300 square feet | |
| Studio, Instructional | 1 space per 300 square feet | |
| Studio, Professional | 1 space per 300 square feet | |
| Tailor Shop | 1 space per 300 square feet | |
| Video Games and Amusement Parlor | 1 space per 300 square feet | |
| OFFICE | | |
| Business Incubator | 1 space per 300 square feet | Parking study can be requested by city or provided by applicant to demonstrate overall parking demand. |
| Office, Medical or Dental | 1 space per 240 square feet | |
| Office, Business and Professional | 1 space per 300 square feet | [Accounting, Lawyer, Photography, Travel Agency, etc.] |
| PUBLIC AND INSTITUTIONAL | | |
| Churches and Places of Worship | 1 space per 4 seats plus 1 space per 300 square feet of office plus required parking for additional use (child or adult day care, elementary or | [Comp. Plan: Religious Uses] |

| USE/CATEGORY | SPACES REQUIRED | NOTES |
|--|--|---|
| College or University, Public or Private | 1 space per 360 square feet of classroom, office, meeting, and assembly rooms. | |
| <u>Emergency Department</u> | 1 space per 200 square feet; plus 1 space per employee | [Per Don] |
| Governmental Uses | 1 space per 360 square feet | |
| <u>Hospice Care Center</u> | 2 spaces per bed; plus 1 space per 200 square feet of outpatient treatment area | [Per Don] |
| Hospital | 2 spaces per bed; plus 1 space per 200 square feet of outpatient treatment area | [Per Don] |
| <u>Medical Facility with overnight stay</u> | 1 space per bed; plus 1 space per 200 square feet of outpatient treatment area | [Per Don] |
| Post Office | 1 space per 360 square feet | |
| Post Office, Accessory | 4 spaces | Additional parking may be waived if associated with adequate parking, such as a shopping center or government building. |
| Schools, Elementary and Middle | 1 space for every 2 classrooms plus 1 space per 300 square feet of office plus 1 pickup/drop off space per 12 students | [Comp. Plan: Educational Uses] |
| Schools, High | 1 space per classroom, plus 1 space per 250-square feet of office, plus 1 space per every 3 students | [Comp. Plan: Educational Uses] |
| <u>Urgent Care Center</u> | 1 space per 200 square feet; plus 1 space per employee | [Per Don] |
| CULTURAL, ENTERTAINMENT, AND RECREATIONAL | | |
| Art Gallery and Museum, Public or Private | 1 space per 720 square feet | |
| Auditorium, Public or Private | 1 space per 3 seats | |
| Bowling Alley | 1 spaces-per lane plus required parking for additional use (lounge restaurant, meeting rooms, etc.) | |

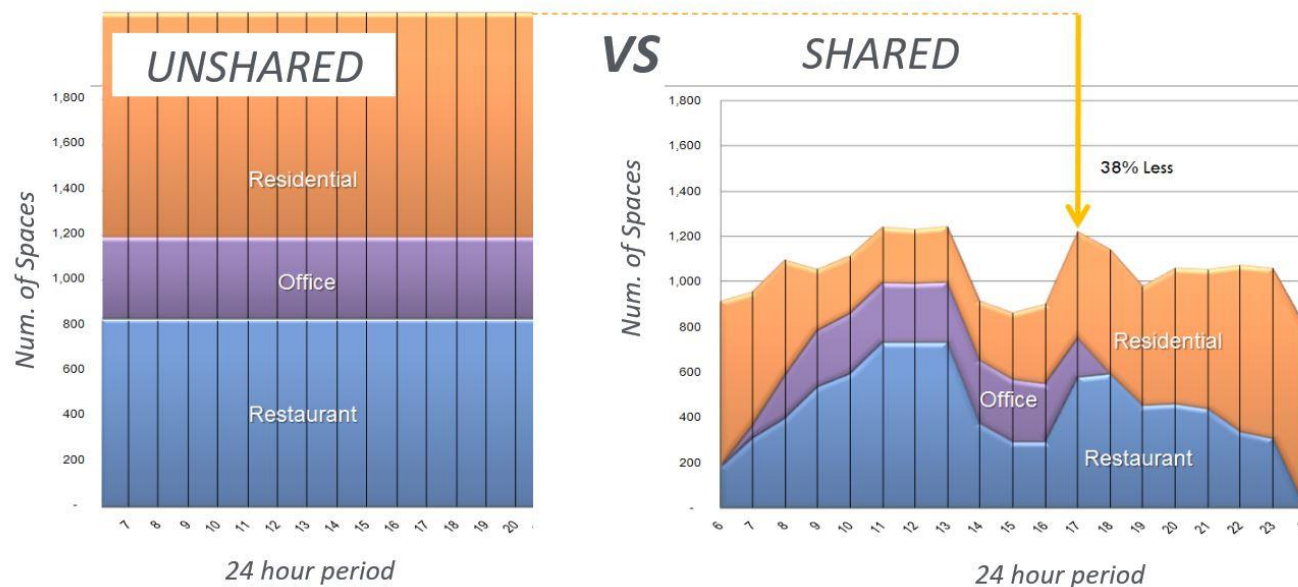
| USE/CATEGORY | SPACES REQUIRED | NOTES |
|---|---|--|
| Club, Lodge, or Clubhouse, Private | 1 space per 360 square feet | |
| Golf Course, Public or Private | 3 spaces per hole plus 1 space per 360 square feet of clubhouse plus required parking for additional uses | |
| Park, Public | To be determined | Parking to be determined based upon facilities to be provided. |
| Recreation Center, Public | Greater of 1 space per 240 square feet or 1 space per 4 seats | Parking study can be requested by city or provided by applicant to demonstrate overall parking demand. |
| Recreation, Commercial-Indoor | To be determined | Parking study shall be requested by city or provided by applicant to demonstrate overall parking demand. |
| Recreation, Commercial-Outdoor | 6 spaces per acre | Parking study can be requested by city or provided by applicant to demonstrate overall parking demand. |
| Recreational Vehicle Park | 1 space per RV parking space; 1 space per camping cabin; 1 space per 600 square feet of administrative, maintenance, or commercial space; 1 space per security dwelling | |
| Stadium or Arena, Public or Private | 1 space per 3 seats | Parking study can be requested by city or provided by applicant to demonstrate overall parking demand. |
| Theater, Indoor | 1 space per 3 seats | |
| Zoo, Public or Private | 8 spaces per acre | |
| WHOLESALE | | |
| Wholesale and Warehousing, General | 1 space per 2,400 square feet plus 1 space per 300 square feet of office | |
| LIGHT INDUSTRIAL | | |
| Manufacturing, General | 1 space per 1,200 square feet plus 1 space per 300 square feet of office | |
| TRANSPORT, UTILITIES, & COMMUNICATIONS | | |
| Airport, General Aviation | 1 space for every 2 tie-downs and/or hangar spaces | |
| Automobile, RV, and Boat Storage, Commercial | 1 space per 300 square feet of office plus 1 space per vehicle to be stored | |
| Freight Depot | 1 space per 1,200 square feet plus 1 space per 300 square feet of office | |
| Helistop | Number of spaces to be determined by the Planning and Zoning Director | |

| USE/CATEGORY | SPACES REQUIRED | NOTES |
|--|---|--|
| Passenger Station | To be determined | Parking study shall be provided by applicant to demonstrate overall parking demand |
| Radio/Television Broadcast Studio | 1 space per 300 square feet | |
| Utility Plant and Major Substations | To be determined | Parking study shall be requested by city or provided by applicant to demonstrate overall parking demand. |
| Wireless Telecommunication Facilities | Number of spaces to be determined by Planning and Zoning Director | |
| OTHER | | |
| <u>Mixed Uses, excluding Shopping Centers</u> | The total requirement for off-street parking shall be the sum of the requirements of the various uses computed separately | |
| Mobile Home, Temporary | 1 space per 300 square feet plus additional spaces as determined by the Planning and Zoning Director | |
| Recreation, Accessory | Number of spaces to be determined by Planning and Zoning Director | |
| <u>Uses Not Specifically Mentioned</u> | Apply requirements for a use which is mentioned and similar to the subject use | |
| Notes: | | |
| Square Feet = Gross Floor Area. | | |
| Parking Studies. Parking studies, when provided, to be conducted in a professionally accepted manner to determine adequate parking for proposed use. | | |

Shared Parking

The city council may approve the use of shared parking to reduce overall parking requirements. The basis for approval is based on several factors listed (complimentary uses, shared parking study, development order). The amount of parking provided pursuant to a shared parking agreement shall not be more than twenty (20) percent of required parking.

SHARED PARKING



Valet Parking

- a) Valet parking area must be clear of fire lanes and Americans with Disabilities Act accessible parking spaces and/or accessible ramps.
- b) Valet parking for restaurants and within retail commercial shopping centers shall not utilize more than twenty (20) percent of the on-site parking provided for the project.
- c) The area of the valet parking shall be clear of driveways, drive aisles, and shall not modify the approved access circulation.
- d) Parking spaces reserved for valet parking shall be located at the portion of the parking lot farthest from the principal structure(s).
- e) This section is only applicable to restaurant and retail commercial shopping center projects.



Loading spaces

- ❖ Off-street loading spaces shall have an overhead clearance of a minimum of 15 feet, with minimum width of 12 feet and minimum length of 35 feet.
- ❖ Off-street loading spaces shall be located on the same property which they serve.
- ❖ Access and maneuvering areas, ramps, and other vehicular circulation areas associated with such facilities shall not be located on a public or private street right-of-way.



Number of Loading spaces required

| Size (Gross Square Feet) | Number of Spaces | |
|-----------------------------|------------------|-----------------------|
| | Office | Commercial/Industrial |
| 0 to 10,000 | 1* | 1* |
| 10,001 to 50,000 | 1 | 2 |
| 50,001 to 100,000 | 2 | 3 |
| Each additional 100,000 | 0.5 | 1 |

Note: *Size and location to be determined during site plan review.

Parking and storage in residential district

❖ Of portable storage units:

The placement of the portable storage unit shall be on either the driveway or approved parking area surface for a period not to exceed fourteen (14) consecutive days.



❖ Of commercial vehicles: shall be prohibited from being parked or stored in a residential district, unless subject to one of the exceptions (construction sites, security, disabled vehicles, deliveries and service calls).



Parking and storage in residential district

- ❖ **Of recreational vehicles and watercraft:** shall be stored in a fully-enclosed garage facility. An RV or watercraft may be permitted in the front yard of a lot for one 24-hour period to permit loading or unloading. Under no circumstances shall an RV or watercraft, parked or stored pursuant to this subdivision, be used for temporary or permanent residential purposes, including living, sleeping, or other similar occupancy, or storage in any manner.



Bicycle Parking

- ❖ The bicycle parking requirements are intended to encourage the use of bicycles as a means of transportation in the city. By encouraging the use of bicycles, the public health, safety and welfare will be furthered through improved air quality, reduced energy consumption, and more efficient use of vehicular parking facilities.

| Use | Percent of Required Vehicular Parking Spaces |
|-----------------------------------|--|
| Amusement parlors | 15 |
| Bowling lanes | 10 |
| Child care centers | 10 |
| Community centers | 15 |
| Game rooms | 12 |
| Libraries | 15 |
| Recreation, outdoor | 12 |
| All commercial uses not listed | 5 |
| All institutional uses not listed | 5 |



Supplemental Parking Requirements

- ❖ **Lighting:** If the off-street parking facility contains ten or more spaces, exterior lighting, shall be provided.
- ❖ **Screening:** All parking facilities shall be screened from the adjoining uses. Tree limbs, signs, vegetation, or other obstructions shall not impede visibility between the heights of two and one-half (2½) feet and eight (8) feet above the pavement elevation at the entrances and exits of parking facilities.
- ❖ **Prohibited uses:** Required off-street parking areas shall not be used for the following:
 - 1) The sale, repair, dismantling, or servicing of any vehicle; or
 - 2) The sale, repair, storage, or servicing of other equipment, materials, or supplies.
- ❖ **Handicapped parking:** Access ramps and markings shall be provided as required by F.S. Section 316.1955.
- ❖ **Grassed parking:** may be approved by the City Council for uses which have infrequent peak demand, subject to the set standards and criteria. Grassed parking areas shall not be included in calculations to comply with minimum landscape or open space requirements.

DIVISION 9. – OFF-STREET PARKING AND LOADING

Subdivision I. – Off-street Parking for Vehicles

Sec. 78-341. – Intent.

- A. *Intent.* This article is intended to ensure that adequate off-street parking is provided to meet the parking needs of all uses located within the city. All parking areas shall be designed and located for the following purposes:
1. To serve the use for which constructed;
 2. To protect the public safety; and,
 3. To mitigate potential adverse impacts on adjacent uses.
- B. *Provision of adequate parking.*

The owner, developer, or operator of a specific use shall be responsible to provide and maintain adequate off-street parking to meet the specific characteristics of a use or combination of uses located on a site or property.

Sec. 78-342. – Applicability of article.

- A. *Applicability.* The requirements of this article shall apply to all development, including new structures, alterations or improvements to existing structures, establishment of new uses, or change of use. Off-street parking shall be available for use prior to the issuance of any certificate of occupancy or occupational license.
- B. *Expansion.* If an existing building, structure, or use that conforms to the off-street parking requirements is expanded, the area of expansion shall be consistent with requirements of this division, including off-street parking and landscaping.
- C. *Change in use.* Whenever a change of use or occupancy occurs and does not involve expansion of an existing building, the new use or occupancy shall meet the off-street parking requirements of this division.
- D. *Nonconformities.* Whenever an expansion occurs to a building or structure that is not in conformance with the off-street parking requirements established in this division, the area of expansion shall be consistent with requirements of this division, including off-street parking and landscaping.
- E. *Calculations.* Calculations shall be rounded ~~up~~ to the nearest whole number.
- F. *Assigned parking.* Parking spaces assigned to a specific use may be authorized by the city manager or his/her designee, provided the number of spaces assigned to a particular use does not exceed 5% of the number of spaces required for such use. Assigned spaces shall be clearly identified by signage. Assigned spaces and required signage shall be indicated on the approved site plan associated with the affected use. Assigned parking shall not be considered in shared parking calculations.

Sec. 78-343. – Location of required parking.

- A. *Location.* Parking facilities, unless otherwise provided herein, shall be located on the same lot as the principal use and shall provide convenient and safe access to the uses served by such facilities.
- B. *Residential parking.*
 - 1. General. Parking spaces for all residential uses shall be located on the same lot as the principal use and shall be located as close as possible to the entrance of such principal use.
 - 2. Driveways. Driveways may be considered off-street parking spaces for single-family and two-family dwellings. However, the length of the driveway must provide sufficient space to comply with the requirements of this article.
 - 3. Building setbacks. Parking of vehicles in any front, side, or rear building setback, except on driveways or other approved surfaces, is prohibited. Temporary parking of vehicles in a yard is permitted for social or other events held at a residence, provided such parking shall not exceed eight hours in a 24-hour period. Temporary parking in a yard due to renovation or repair of a driveway or residence is permitted for the duration of the improvements.

Sec. xx-xxx: Design and Construction Standards

A. Dimensions

The dimensions and geometrics of off-street parking areas shall conform to the following minimum standards.

1. Residential

a. Individual Parking Space

Each parking space for dwelling units that do not share a common parking lot, including spaces provided in single-family dwelling unit driveways, shall be a minimum of nine feet wide and 20 feet long. Parking spaces may be side to side, end to end or not contiguous to each other.

b. Common Parking Lots

For dwelling units that share a common parking lot, parking spaces and aisles shall be subject to Table 6.A.1.D, Minimum Parking Dimensions.

2. Nonresidential

All nonresidential uses and residential uses with shared parking lots shall provide parking spaces that comply with Table 6.A.1.D, Minimum Parking Dimensions, and Figure 6.A.1.D, Typical Example of General Parking Schematic. Parking angles that are not illustrated in Table 6.A.1.D, Minimum Parking Dimensions, or Figure 6.A.1.D, Typical Example of General Parking Schematic shall be interpolated from the tables and approved by the

DRO. For the purpose of applying the "Use" column in [Table 6.A.1.D](#), Minimum Parking Dimensions, the following rules shall apply:

B. General

The term "general" applies to parking spaces designated to serve all commercial uses except retail and residential uses with shared parking lots. Spaces reserved for use by disabled persons shall be governed by the rows labeled "handicap";

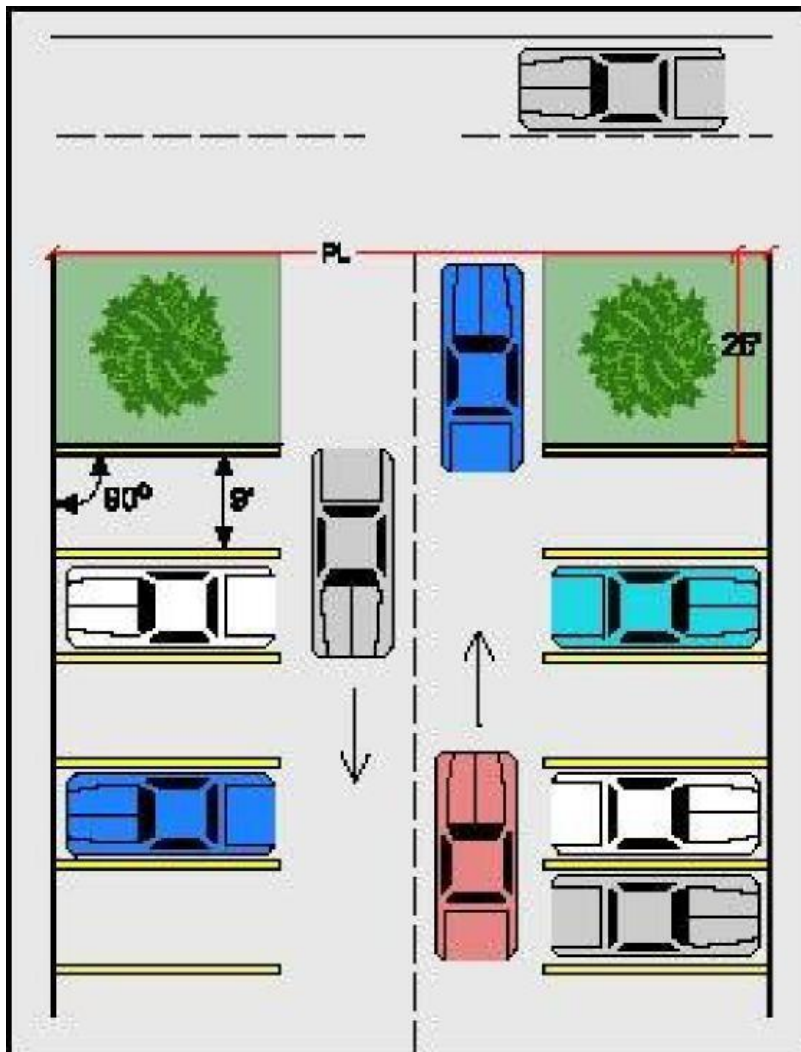
C. Queuing Distance

In a parking lot a minimum queuing distance of 25 feet is required between the property line and the first parking space, unless otherwise specified in [Section XX-xx, Table 6.A.1.D, Minimum Queuing Standards](#). [\[See page 12\]](#)

D. Exception for Low Speed Electric Vehicles (LSEV)

Where drive aisles in LSEV parking areas are not intended solely for use by LSEV, the overall width and minimum aisle width may be increased to allow the aisle width permitted for standard sized vehicles.

Figure 6.A.1.D - Queuing Distance



E. Parallel Parking

Parallel parking spaces shall have a minimum length of 21 feet and a minimum width of nine feet (see Figure 6.A.1.D - Parallel Parking).

Figure 6.A.1.D - Parallel Parking

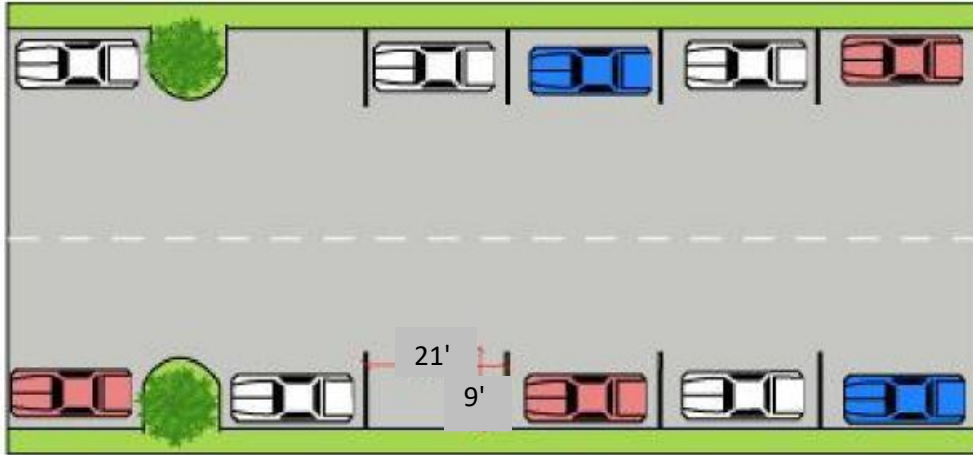


Figure 6.A.1.D- Parallel Parking Dimensional Standard

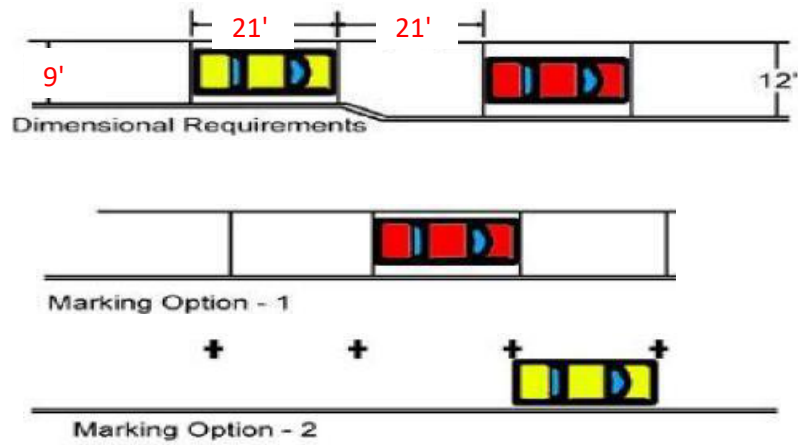
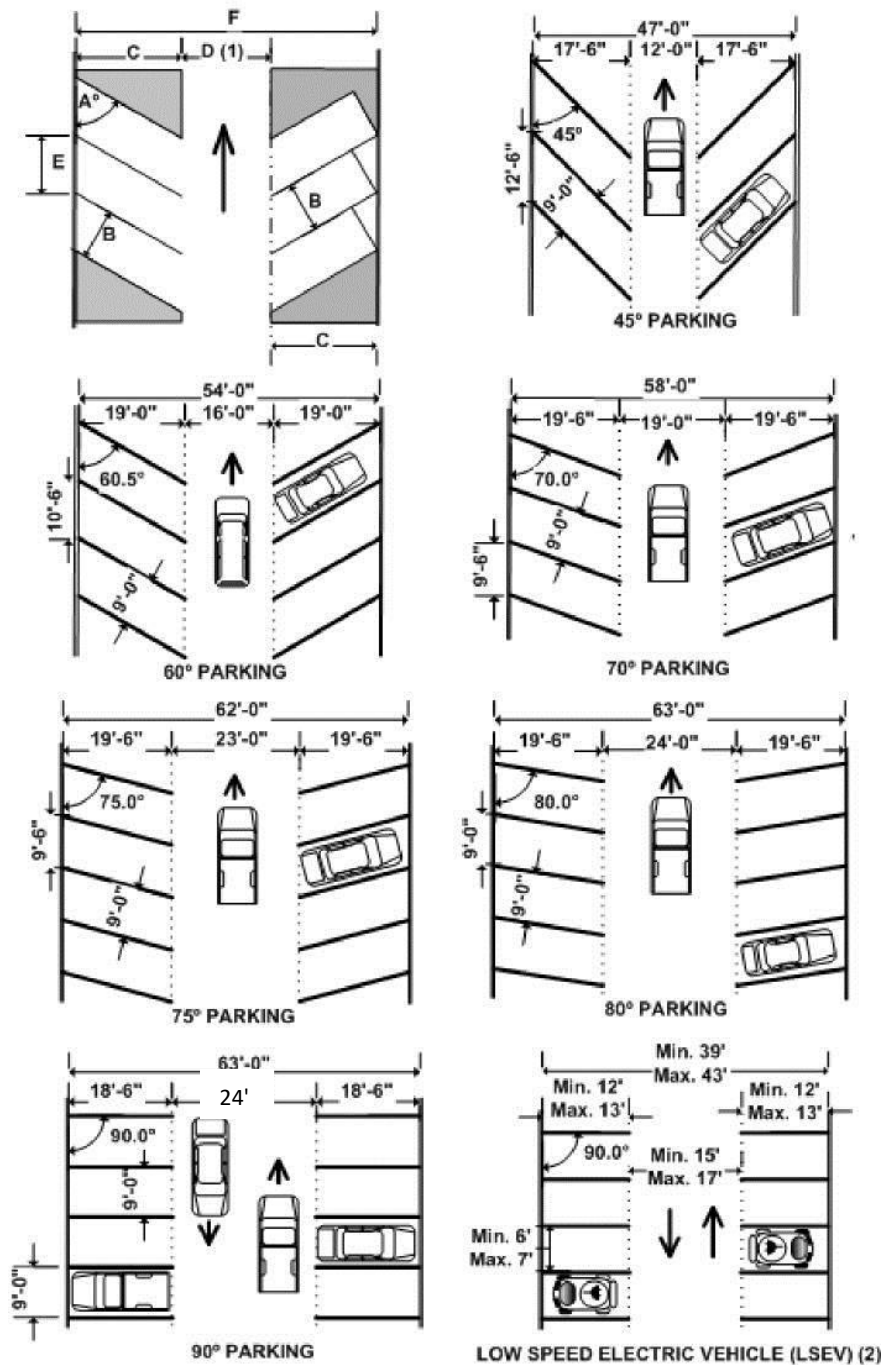


Table 6.A.1.D - Minimum Parking Dimensions for Nonresidential Uses and Residential Uses with Shared Parking Lots

| A Angle | Use (1) | B Space Width (feet) | C Space Depth (feet) | D Aisle Width (feet) | E Curb Length (feet) | F Module Width (feet) |
|--|-------------------------|-------------------------------|-------------------------------|-------------------------------|-------------------------------|-----------------------------|
| 45 | General | 9.0 | 17.5 | 12.0 | 12.5 | 47.0 |
| | Retail | 9.5 | 17.5 | 12.0 | 13.5 | 47.0 |
| | Handicapped | 12.0 | 17.5 | 12.0 | 17.0 | 47.0 |
| 60 | General | 9.0 | 19.0 | 16.0 | 10.5 | 54.0 |
| | Retail | 9.5 | 19.0 | 15.0 | 11.0 | 53.0 |
| | Handicapped | 12.0 | 19.0 | 14.0 | 14.0 | 52.0 |
| 70 | General | 9.0 | 19.5 | 19.0 | 9.5 | 58.0 |
| | Retail | 9.5 | 19.5 | 18.0 | 10.0 | 57.0 |
| | Handicapped | 12.0 | 19.5 | 17.0 | 12.5 | 56.0 |
| 75 | General | 9.0 | 19.5 | 23.0 | 9.5 | 62.0 |
| | Retail | 9.5 | 19.5 | 22.0 | 10.0 | 61.0 |
| | Handicapped | 12.0 | 19.5 | 21.0 | 12.5 | 60.0 |
| 80 | General | 9.0 | 19.5 | 24.0 | 9.0 | 63.0 |
| | Retail | 9.5 | 19.5 | 23.0 | 9.5 | 62.0 |
| | Handicapped | 12.0 | 19.5 | 22.0 | 12.0 | 61.0 |
| 90 | General | 9.0 | 18.5 | 24.0 | 9.0 | 63.0 |
| | Retail | 9.0 | 18.5 | 24.0 | 9.5 | 62.0 |
| | Handicapped | 12.0 | 18.5 | 24.0 | 12.0 | 61.0 |
| 90 | Low Speed | Min. 6.0 | Min. 12.0 | Min. 15.0 | Min. 6.0 | Min. 39.0 |
| | Electric Vehicle (LSEV) | Max 7.0 | Max. 13.0 | Max. 17.0 (2) | Max. 7.0 | Max. 43.0 (2) |
| Notes: | | | | | | |
| Use – See Art. 6.A.1.D.14 , Design and Construction Standards. | | | | | | |
| Residential uses shall comply with “General” requirements above. | | | | | | |
| Where drive aisles in LSEV parking areas are not intended solely for use by LSEV, the overall width and minimum aisle width may be increased to allow the aisle width permitted for standard sized vehicles. | | | | | | |
| Angled parking with two-way traffic movement shall be a minimum of 24 feet wide except for some parking lots with 90-degree parking stalls, or unless stated otherwise herein. | | | | | | |
| Key: | | | | | | |
| A | Parking Angle | C | Space Depth | E | Curb Length | |
| B | Space Width | D | Aisle Width | F | Wall to Wall Width | |

Figure 6.A.1.D – Typical Example of General Parking Schematic (1)



| Key: | | | | | |
|--------|--|---|-----------------|---|--------------------|
| A | Parking Angle | C | Space Depth | E | Curb Length |
| B | Space Width | D | Aisle Width (1) | F | Wall to Wall Width |
| Notes: | | | | | |
| 1. | All angled parking with two-way traffic movement shall be a minimum of 24 feet wide except for some parking lots with 90-degree parking spaces, or unless stated otherwise herein. | | | | |
| 2. | Where drive aisles in LSEV parking areas are not intended solely for use by LSEV, the overall width and minimum aisle width may be increased to allow the aisle width permitted for standard sized vehicles. | | | | |

F. Construction

1) Circulation Standards

There shall be safe, adequate, and convenient arrangement of pedestrian pathways, bikeways, roads, driveways, and off-street parking and loading spaces within parking areas.

Streets, pedestrian walks, parking areas, and open space shall be designed as integral parts of an overall site design which shall be properly related to existing and proposed buildings, adjacent uses and landscaped areas.

The materials used in the design of paving, lighting fixtures, retaining walls, fences, curbs and benches shall be constructed from durable materials that are easily maintained.

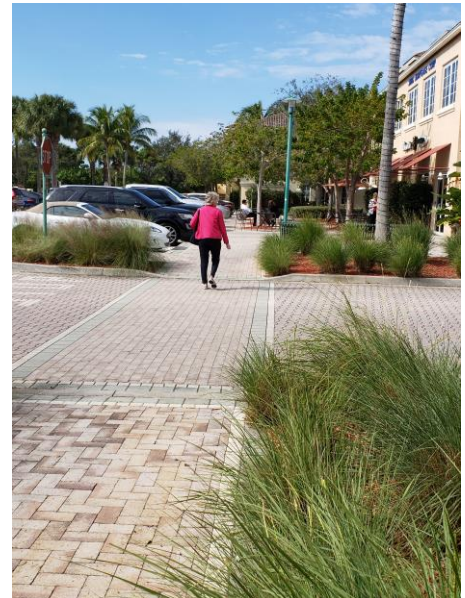
Parking lots shall be maintained in accordance with the paving and drainage permit issued authorizing construction.

2) Pedestrian Circulation

Structures, vehicular circulation lanes, parking spaces, driveways, and open spaces shall be designed to provide logical, impediment free pedestrian movement. The site shall be arranged so that pedestrians moving between buildings are not unnecessarily exposed to vehicular traffic.

Paved, landscaped or comfortably graded pedestrian walks shall be provided along the lines of the most intense use, particularly from building entrances to streets, parking areas, and adjacent buildings.

Where off-street parking spaces directly face the front of a structure and are not separated by an access aisle from the structure, a paved pedestrian walkway shall be provided between the front of the parking space and the structure. The walkway shall be a minimum of four feet wide, exclusive of vehicle overhang, and shall be separated from the parking space by concrete wheel stops or continuous curbing. Single family residential uses are exempt from this requirement.



A continuous internal pedestrian walkway shall be provided from each adjacent perimeter public sidewalk to all customer entrances. The design of the walkway shall include all of the following:

- a) one native ~~canopy~~ shade tree for each 25 linear feet with a maximum spacing of 50 feet between trees;
- b) one bench every ~~200~~ 500 feet between the public sidewalk and building; and walkways traversing vehicular use areas shall be accented with special pavers, bricks, decorative concrete, stamped concrete, or similar decorative pavement treatment.

3) Paving and Drainage

G. Review and Approval by City Engineer

The drainage design for all parking areas shall be reviewed and approved by the City Engineer pursuant to **Article 11, SUBDIVISION, PLATTING, AND REQUIRED IMPROVEMENTS**, prior to the issue of a development permit.

Materials

Unless otherwise provided in this Article, all parking lots shall be constructed with a minimum pavement structural number of 3.5 in accordance with FDOT standards, as certified by an engineer.

Impervious Surface

All surface parking areas, grassed or otherwise, shall be considered an impervious paved surface for the purpose of determining tertiary drainage system flow capacity and secondary stormwater management system runoff treatment/control requirements.

Runoff

Runoff from vehicular use areas shall be controlled and treated in accordance with all applicable agency standards in effect at the time an application is submitted.

4) Maintenance

- a) All parking lots shall be maintained in safe condition to prevent any hazards, such as cracked asphalt or potholes.
- b) Sealcoating shall be used only for preventative maintenance and shall not be permitted for pavement structural repairs or cracks.
- c) Pavement markings shall be clearly visible.
- d) Off-street parking facilities and parking facilities for all residential uses shall be free of weeds, dust, trash, and debris. Drainage systems for off-street parking facilities shall be maintained in a manner acceptable to the city engineer.

5) Shell Rock

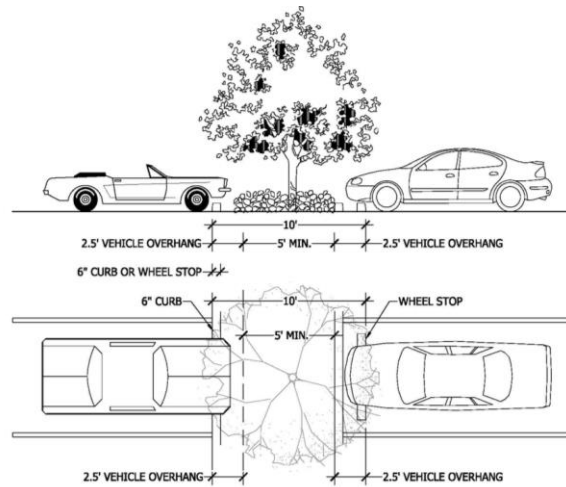
The uses listed below may construct surface parking lots with shell-rock or similar material approved by the City Engineer. Parking areas connected to a public street, shall be paved.

Agricultural uses requiring less than 20 spaces. Communication towers.

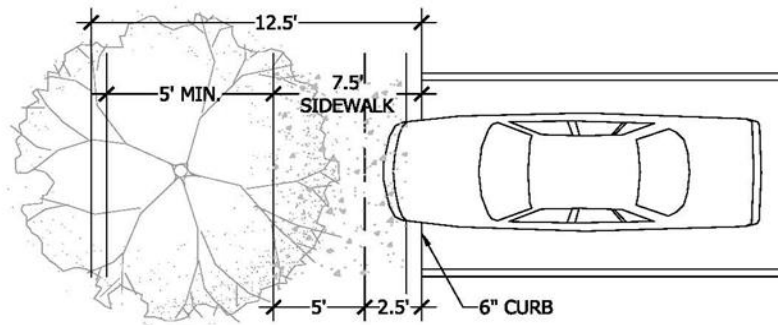
Accessory uses to a bona fide agricultural use, such as farm workers quarters. Nurseries

a) Wheel-stops and Curbing

Wheel stops or continuous curbing shall be placed two- and one-half feet back from walls, poles, structures, pedestrian walkways and landscaped areas. Wheel-stops and curbing shall be six inches (6") high.



If there is no wheel stop abutting a curbed sidewalk or landscaped area, a two- and one-half foot vehicle overhang shall be provided which cannot contain trees or count towards the required landscaping or the minimum sidewalk width.



Stripes

Except for parallel parking spaces, parking lots containing spaces for three or more vehicles shall delineate each space by single or double stripes on each side of the space. All stripes shall be delineated in white paint, thermal plastic coating, or pavers, except for handicapped spaces which shall have blue stripes. The width of the delineated stripe shall be four inches. Double striping separation from inside edge of stripe to inside edge of stripe shall be no less than eight inches and no more than 16 inches. The effective width of the double stripes shall range from 16 inches to 24 inches, measured from outside edge of stripe to outside edge of stripe.

Parking Space Width

Striping shall be measured as follows:

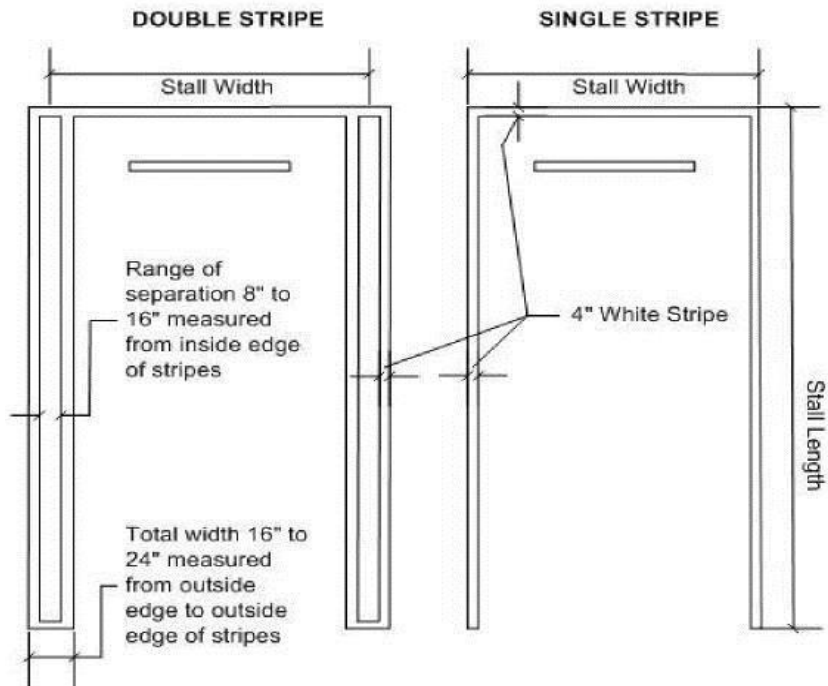
Single Striping

Parking space width shall be measured from the centerline of the strip.

Figure 6.A.1.D - Striping Standards

Double Striping

Parking space width shall be measured from the centerline of the set of stripes.



Signs

Traffic control signs and other pavement markings shall be installed and maintained as necessary to insure safe and efficient traffic operation in all vehicular use areas. Such signage and markings shall conform with the Manual on Uniform Traffic Control Devices, Federal Highway Administration, U.S. Department of Transportation, as adopted by the FDOT.

Landscaping

- a) All new parking lots shall be landscaped in accordance with Article 4, LANDSCAPING and BUFFERS.
- b) Renovations to existing parking lots shall be landscaped in accordance with Article 4, LANDSCAPING and BUFFERS.
 - (1) Exception. Normal maintenance and repair of existing parking lots, such as resurfacing, restriping, or the addition of curbing and wheel stops, shall require landscaping in accordance with the original permit.

15. Access

Ingress and Egress

Each parking space shall have appropriate access to a street or alley. Legally platted lots that accommodate one or two units shall be allowed backward egress from a driveway onto a street. In all other cases, maneuvering and access aisle area shall be sufficient to permit vehicles to enter and leave the parking lot in a forward motion.

Access Dimensions

Access ways, except those associated with a single-family residential use, shall be subject to the following dimensional standards.

Table 6.A.1.D-4 - Dimensions of Access Ways [This table retained per City Engineer.]

| Minimum Width at Street | Feet (1) |
|---|-------------------|
| One-Way | 20 |
| Two-way with median | 40 ⁽²⁾ |
| Two-way without median | 35 |
| Right Turn Radius (3) | |
| Minimum | 25 |
| Maximum | 30 |
| Notes: | |
| 1. Widths exceeding these standards may be approved by the Zoning Director or the County Engineer, depending on the use. 2. Width excludes median. 20-foot unobstructed pavement required on both sides of median, excluding guardhouses and landscape islands. 3. Measured on side of driveway exposed to entry or exit by right turning vehicles. | |

16. Queuing and Bypass Standards

In addition to meeting the minimum off-street parking and loading standards of this Article, all drive thru establishments shall meet the following standards.

Figure 6.A.1.D-12 - Queuing and By-Pass Standards

[Photo: Okeechobee Marketplace]

Queuing shall be provided for all drive-thru establishments. Each queuing space shall be a minimum of ten feet by 20 feet, clearly defined and designed so as not to conflict or interfere

with other traffic using the site. The dimensions for the point of service space may be reduced to nine by 20 feet. Unless otherwise indicated below, queuing shall be measured from the front of the stopped vehicle located at the point of service to the rear of the queuing lane. One additional queuing space shall also be provided after the point of service for all uses.

A by-pass lane a minimum of ten feet wide shall be provided before or around the point of service. Subject to the Planning and Zoning Director's approval, a by-pass lane may not be required if the queuing lane is adjacent to a vehicular use area which functions as a by-pass lane. The by-pass lane shall be clearly designated and distinct from the queuing area.

Table 6.A.1.D - Minimum Queuing Standards

| Use | Number of Spaces | Required By-pass (1) |
|---|---|----------------------|
| Drive-Thru Financial Institution Teller Lanes | 5 | |
| Automatic Teller Lanes | 3 | Y N |
| Drive-Thru Restaurant Minimum before Menu Board | 7 | |
| | 4 | Y |
| Drive-Thru Car Wash Automatic | 5 | |
| Self-Service | 3 | N Y |
| Drive-Thru Oil Change | 4 | Y |
| Gasoline Pump Island | 20 feet of queuing at each end of pump island | N |
| Drive-Thru Dry Cleaning or Laundry | 3 | Y |
| Drive-Thru General Retail | 4 | Y |
| Commercial Parking Lot | 3 | N |
| High Intensity Drive-Thru | <u>12</u> | <u>Y</u> |
| Notes: | | |
| 1. All Uses: a by-pass lane shall be required if more than 5 queuing spaces are provided. | | |

A maximum of 20 percent of the required queuing spaces, pursuant to **Table 6.A.1.D – Minimum Queuing Standards**, may count toward the off-street parking requirements pursuant to **Table 6.A.1.B - Minimum Off-Street Parking and Loading Requirements**. This provision shall only apply to uses that require a minimum of 25 parking spaces.

Access

Ingress and egress shall be located to present the least interference with traffic and the least nuisance on any adjacent street. The location, size and number of entrances and exits shall be subject to approval by the City Engineer.

17. Parking Structure Standards General

Parking garages may be used to meet off-street parking requirements for any use or combination of uses. Such structures shall be considered accessory to the principal use. Design features on parking structures shall include the use of architectural details to reduce massing, and the incorporation of landscaping to provide visual relief. Blank, unarticulated walls shall not be permitted for parking garage facades that are not lined with uses. Such facades shall have architectural treatments designed to be compatible with adjacent buildings. Ramps, stairwells and any other portion of a garage shall be buffered with the use of decorative grilles and screens, landscaping, or other varied materials. All parking garages shall comply with the standards for surface parking lots with regard to marking, signage striping and minimum number of spaces to be provided.



Graphics provided for illustration purposes only.



Site Plan

When parking spaces are provided in an underground garage, a multi storied structure or on the roof of a building, a site plan shall be submitted to the DRO for approval of interior traffic circulation, access use of ramps, parking space and aisle dimensions, traffic control signs and pavement marking, safe and efficient vehicular and pedestrian operation, location of entrances and exits, approval of sight distances at entrances and exits, and for approval of the effective screening of the cars located in or on the parking structure from adjoining lands and from public streets.



c. Design Standards

1) Floor Width

The unobstructed distance between columns or walls measured at any point between the ends of the parking aisle shall be as indicated in **Table 6.A.1.D**- Minimum Floor Width.

Table 6.A.1.D - Minimum Floor Width

| Angle | Parking on Both Sides of Aisle | Parking on One Side of Aisle |
|---|--------------------------------|------------------------------|
| 90 | 60 feet one-or two-way aisle | 43 feet one-or two way aisle |
| 75 | 59 feet one-way aisle (1) | 40 feet one-way aisle |
| 60 | 53 feet one-way aisle (1) | 34 feet one-way aisle |
| Notes: | | |
| 1. Requests for reductions of unobstructed distances will be considered if aisle and sight parking dimensions are met, and the columns are not located at the rear of the parking spaces, or interfere with the opening of doors. | | |

2) Minimum Space Width

The minimum parking space width shall be nine feet.

Sec. 78-345. – Number of parking spaces required.

- (a) Miscellaneous Uses. For any use not listed in Table 33, Required Off-street Parking Spaces, the planning and zoning director shall determine off-street parking requirements based on uses with similar characteristics.
- (b) *Required spaces.* The number of off-street parking spaces required for individual uses is established in Table 33. The standards established in this section provide the minimum vehicular parking requirements for the various uses as classified. As indicated in Table 33, the planning and zoning director may request additional information to demonstrate compliance with overall parking demand.
- (c) *Mixed uses.* For mixed use projects approved by the city council with a specific percentage of individual uses, total off-street parking requirements shall be calculated based upon the requirements applicable to each individual use. For commercial shopping centers or other centers which may provide a variety of mixed uses, the parking requirements for a shopping center shall apply.
- (d) Deviation(s) from the provisions of this Article may be permitted for government facilities within the Downtown Mixed Use and Civic Zoning Districts, subject to approval by the City Council utilizing the following standards:
 - a. the proposed deviation(s) maintains compatibility with the uses and character of land surrounding and in the vicinity of the land proposed for development;
 - b. adverse effects on adjacent uses and lands, including but not limited to visual impact, are determined to be minimal or otherwise negligible upon review and consideration of surrounding lands, uses, zoning, Future Land Use (FLU), character, or other preexisting conditions;
 - c. special or unique circumstances or factors exist that are applicable to the proposed use, structure, feature, or land proposed for development;
 - d. the proposed deviation(s) allows for reasonable or practical use of the land proposed for development;
 - e. approval of the deviation(s) is consistent with the purpose, goals, policies, and objectives of the Plan and this Code; and,
 - f. approval of the deviation(s) is not injurious to the surrounding area or otherwise detrimental to public health, safety, and general welfare.

Table 33: Required Off-Street Parking Spaces

Note: *Square Feet = Gross Floor Area*

| USE/CATEGORY | SPACES REQUIRED | NOTES |
|---|---|------------------------|
| RESIDENTIAL | | |
| Dwelling, <u>Single-Family Detached</u> | 2 spaces per unit plus minimum of 5% <u>4%</u> of total required spaces for guest parking | Guest parking required |
| Dwelling, <u>Multi-Family</u> | 1 space per unit plus minimum of 5% <u>4%</u> of total required spaces for guest parking | Guest parking required |
| Dwelling, <u>Single-Family Attached</u> | 2 spaces per unit plus minimum of 5% <u>4%</u> of total required spaces for guest parking | Guest parking required |
| <u>Dwelling</u> , Mobile Home/ <u>Manufactured Home</u> | 1 space per unit plus minimum of 5% <u>4%</u> of total spaces for guest parking | Guest parking required |
| Hotel/Motel, Boarding or Rooming House | <p>1.1 spaces per room plus 1 space for each 100 square feet of meeting space plus 1 space for each 100 square feet of office space plus required parking for additional use (lounge, retail, restaurant, etc.)</p> <p>[Per Don's e-mail:] <u>.75 spaces per room plus 1 space per 300 SF of office/event space, plus 1 space per 300 SF of restaurant. *</u> <u>*Parking requirement for additional uses within the hotel/motel, provided that they are generally for the use of hotel/motel guests and are advertised as such. [Please clarify]</u></p> | |

| | | |
|--|---|--|
| Residence Hall or Dormitory | 0.75 spaces resident | [See current ULDC parking requirements table attached: 1.25 spaces per room required for “Hotel, Motel, SRO, Rooming and Boarding” (page 40).] |
| Community Residential Home, Type I (6 or less residents) | Greater of 2 spaces per unit or 1 space for each bedroom | [Reference Sec. 419.001 FS in Definitions.] Comp Plan: Foster care facilities and group homes |
| Community Residential Home, Type II (7—14 residents) | 1 space per 4 residents | [Reference Sec. 419.001 FS in Definitions.] Comp Plan: Foster care facilities and group homes |
| Assisted Living Facility (1 or more residents) | 1.25 space per dwelling unit for independent living; 1 space per <u>2 beds</u> for assisted living; 1 space per 4 beds plus 1 space per 250 <u>350</u> square feet of office space for skilled nursing facility | [Guest Parking?] |
| RETAIL & COMMERCIAL | | |
| Adult Entertainment | 1 space per 250 square feet | |
| Antique Store | 1 space per 250 <u>400</u> square feet | |
| Appliance and Electronics Store | 1 space per 250 <u>400</u> square feet | |
| Auto Repair, General | 1 space per 250 <u>300</u> square feet plus 2 <u>1</u> space per repair bay | [Includes uses such as Tire Kingdom, Pep Boys, Jiffy Lube, auto repair shops without retail sales, etc.] |
| Auto Dealership | 1 space per 250 square feet of enclosed display area and offices plus 1 space per 4,500 square feet of outdoor sales, display and rental plus 1 space per <u>for every 2</u> service bays* <i>*Vehicle sales, storage, or display areas shall not be counted towards meeting required parking.</i> | At least 1 off-street loading/unloading space for auto transport trailers shall be provided. |
| Auto Rental, Accessory | 1 space per <u>600 square feet of storage area</u> | |
| Bakery | 1 space per 250 <u>300</u> square feet | |
| Barber/Beauty Supplies and Equipment Sales | 1 space per 250 <u>300</u> square feet | |

| | | |
|---|--|--|
| Banquet Facility | 1 space per 100 <u>125</u> feet of indoor and outdoor assembly area | |
| Bicycle Sales and Repair | 1 space per 250 <u>300</u> square feet | |
| Boat and Marine Sales | 1 space per 250 <u>300</u> square feet | |
| Bookstore | 1 space per 250 <u>300</u> square feet | |
| Car Wash/Auto Detailing | 1 space per 250 <u>300</u> square feet plus 1 space per <u>for every 2</u> bays | [Includes employee parking and stalls for finishing/detailing.] |
| Convenience Store with Gas Sales | 1 space per 200 <u>240</u> square feet plus 2 <u>1</u> spaces-per bay | |
| Convenience Store without Gas Sales | 1 space per 200 <u>240</u> square feet | |
| Drugstore or Pharmacy, General <u>with or without Drive-Through</u> | 1 space per <u>300</u> square feet | |
| Farm Equipment and Sales | <u>1 space per 250 square feet of enclosed display area and offices plus 1 space per 4,500 square feet of outdoor sales, display and rental plus 1 space for every 2 service bays</u> | <u>At least 1 off-street loading/unloading space for equipment transport trailers shall be provided.</u> |
| Feedstore | 1 space per 250 <u>300</u> square feet | |
| Fruit and Vegetable Market | 1 space per 250 <u>300</u> square feet | |
| Grocery Store/ <u>Supermarket</u> | 1 space per 200 <u>240</u> square feet | |
| Landscape, Nursery, and Garden Supplies | 1 space per 250 <u>300</u> square feet plus 1 space per 1,000 <u>1,200</u> square feet of outdoor display area | |
| Motorcycle Sales and Service | 1 space per 500 <u>600</u> square feet of enclosed display area and offices plus 1 space per 4,500 <u>5,400</u> square feet of outdoor sales, display and rental plus 1 space per <u>for every 2</u> service bays | |
| Nightclub, Bar, or Lounge | 1 space per <u>2</u> seats but not less than 1 space per <u>100</u> square feet | |
| Restaurant, Fast Food (with or without Drive-through) | 1 space per <u>150</u> gross square feet including outdoor seating, plus 1 space per <u>250</u> -square feet for employee parking | |

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| Restaurant, General, <u>without Bar</u> | 1 space per <u>150</u> gross square feet including outdoor seating, plus 1 space per <u>250</u> -square feet for employee parking | |
| Restaurant, General, <u>with Bar</u> | 1 space per <u>100</u> gross square feet including outdoor seating, plus 1 space per <u>250</u> -square feet for employee parking | |
| Restaurant, Take Out | 1 space per <u>100</u> gross square feet including outdoor seating, plus 1 space per <u>250</u> -square feet for employee parking | Parking study can be requested by city or provided by applicant to demonstrate overall parking demand. |
| Retail, General | 1 space per 250 <u>300</u> square feet | |
| Shopping Center/Mixed Uses | 1 space per feet 200 <u>225</u> square feet | Unless adequate parking is provided, not more than 25% of gross floor area of shopping center can be used for restaurant purposes. *Parking for movie theaters to be calculated separately. |
| Showrooms, General | 1 space per 500 <u>600</u> square feet | . |
| PERSONAL SERVICES | | |
| Animal Boarding Kennel <u>and Pet Grooming</u> | 1 space per 300 <u>400</u> square feet of office | |
| Auto/Truck Fleet Maintenance/ <u>Repair</u> Shops and Garages | 1 space per 250 <u>300</u> square feet plus 2 <u>1</u> spaces per repair bay plus 1 space per 4,500 <u>5,400</u> square feet of outdoor storage area | |
| Automatic/Self-Serve Car Wash | 1 space per 250 <u>300</u> square feet | |
| Bank/Financial Institution <u>with or without</u> Drive Through | 1 space per 250 <u>300</u> square feet | |
| Barber/Beauty Shops | 1 space per 250 <u>300</u> square feet | |
| Business, Trade and Vocational Schools | 1 space for each 2 <u>every 3</u> students plus 1 space per 300 <u>360</u> square feet of classroom and office space plus 1 space for each 4 <u>for every-5</u> seats in gymnasiums and auditoriums | |
| Catering Service | 1 space per 250 <u>300</u> square feet | |

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| Cemetery, Funeral Home, Mausoleum | 1 space per <u>200 square feet of office space plus 1 space per 100 feet of assembly area [1 per 4 seats?]</u> | |
| Clinic, Medical or Dental | 1 space per 200 <u>240</u> square feet | . |
| Clinic, Veterinary | 1 space per 250 <u>300</u> square feet | |
| Contractor's Storage Yard | 1 space per 250 <u>300</u> square feet of office plus 1 space per 10,000 <u>20,000</u> square feet of open storage area | |
| Day Care, Child and Adult | 1 space per 10 <u>12</u> students or clients plus 1 pickup/drop off space per 10 <u>12</u> students plus 1 space per <u>every 2 vans and/or buses</u> | |
| Dry Cleaning | 1 space per 250 <u>300</u> square feet | |
| Emergency Health Care, Standalone, No Overnight Stay | 1 space per <u>110</u> square feet [11 per 1,000 sq. ft per Dr. Pennock] | [UHS used "Medical or Dental Office" requirements: 1 space per 200 square feet (see page 41).] <i>See Don's "Urgent Care Facility" under Public and Institutional.</i> |
| Express or Parcel Delivery Distribution Center | 1 space per 1,000 <u>1,200</u> square feet plus 1 space per <u>for every 2 bays</u> | |
| Health, Physical Fitness, Massage Therapist, and Spa | 1 space per 200 <u>250</u> square feet | |
| Housekeeping and Janitorial Services | 1 space per 250 <u>300</u> square feet plus 1 space per <u>for every 2 company vehicles</u> | |
| Laboratory, General | 1 space per 250 <u>300</u> square feet | |
| Laboratory, Dental or Medical | 1 space per 250 <u>300</u> square feet | |
| Laundry, Self Service | 1 space per 200 <u>240</u> square feet | |
| Laundry, Linen Supply and Cleaning Service | 1 space per 1,000 <u>1,200</u> square feet plus 1 space per <u>for every 2 bays</u> | . |
| Mail and Packing Store, Private | 1 space per 250 <u>300</u> square feet | |

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| Marina, Commercial | 1 space per two <u>3</u> wet slips plus 1 space per 5-6 dry slips plus the greater of 1 space per 200 <u>240</u> square feet of accessory uses or required parking for additional use (lounge, retail, restaurant, etc.) | |
| Motion Picture Studio | 1 space per 300 <u>360</u> square feet of office space plus 10-6 spaces per studio plus 1 space per 1,000 <u>1,200</u> square feet | |
| Nursing Home or Convalescent Facility | 1 space per 4 <u>5</u> beds plus 1 space per 250-300 square feet of office space | [Comp. plan: Continuing care facilities and nursing homes] |
| Self Service Storage | 1 space per 75 <u>150</u> storage spaces plus 2 <u>1</u> spaces per security quarters plus 4 <u>3</u> spaces per office | |
| Shoe Repair | 1 space per 250 <u>300</u> square feet | |
| Studio, Instructional | 1 space per 250 <u>300</u> square feet | |
| Studio, Professional | 1 space per 250 <u>300</u> square feet | |
| Tailor Shop | 1 space per 250 <u>300</u> square feet | |
| Video Games and Amusement Parlor | 1 space per 250 <u>300</u> square feet | |
| OFFICE | | |
| Business Incubator | 1 space per 250 <u>300</u> square feet | Parking study can be requested by city or provided by applicant to demonstrate overall parking demand. |
| Office, Medical or Dental | 1 space per 200 <u>240</u> square feet | |
| Office, Business and Professional | 1 space per 300 square feet | [Accounting, Lawyer, Photography, Travel Agency, etc.] |
| PUBLIC AND INSTITUTIONAL | | |
| Churches and Places of Worship | 1 space per 3 <u>4</u> seats plus 1 space per 250 <u>300</u> square feet of office plus required parking for additional use (child or adult day care, elementary or secondary school, etc.). | [Comp. Plan: Religious Uses] |
| College or University, Public or Private | 1 space per 300 <u>360</u> square feet of classroom, office, meeting, and assembly rooms. | |

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| <u>Emergency Department</u> | <u>1 space per 200 square feet; plus 1 space per employee</u> | [Per Don] |
| Governmental Uses | 1 space per 300 <u>360</u> square feet | |
| <u>Hospice Care Center</u> | <u>2 spaces per bed; plus 1 space per 200 square feet of outpatient treatment area</u> | [Per Don] |
| Hospital | <u>2 spaces per bed; plus 1 space per 200 square feet of outpatient treatment area</u> | [Per Don] |
| <u>Medical Facility with overnight stay</u> | <u>1 space per bed; plus 1 space per 200 square feet of outpatient treatment area</u> | [Per Don] |
| Post Office | 1 space per 300 <u>360</u> square feet | |
| Post Office, Accessory | <u>5-4</u> spaces | Additional parking may be waived if associated with adequate parking, such as a shopping center or government building. |
| Schools, Elementary and Middle | 1 space per for every <u>2</u> classrooms plus 1 space per 250 <u>300</u> square feet of office plus 1 pickup/drop off space per 10 <u>12</u> students | [Comp. Plan: Educational Uses] |
| Schools, High | 1 space per classroom, plus 1 space per 250-square feet of office, plus 1 space per every <u>3</u> students | [Comp. Plan: Educational Uses] |
| <u>Urgent Care Center</u> | <u>1 space per 200 square feet; plus 1 space per employee</u> | [Per Don] |
| CULTURAL, ENTERTAINMENT, AND RECREATIONAL | | |
| Art Gallery and Museum, Public or Private | 1 space per 600 <u>720</u> square feet | |
| Auditorium, Public or Private | 1 space per <u>3</u> seats | |
| Bowling Alley | 2-1 spaces-per lane plus required parking for additional use (lounge restaurant, meeting rooms, etc.) | |
| Club, Lodge, or Clubhouse, Private | 1 space per 300 <u>360</u> square feet | |
| Golf Course, Public or Private | <u>4-3</u> spaces per hole plus 1 space per 300 <u>360</u> square feet of clubhouse plus required parking for additional uses | |

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| Park, Public | To be determined | Parking to be determined based upon facilities to be provided. |
| Recreation Center, Public | Greater of 1 space per 200 <u>240</u> square feet or 1 space per 4 <u>4</u> seats | Parking study can be requested by city or provided by applicant to demonstrate overall parking demand. |
| Recreation, Commercial–Indoor | To be determined | Parking study shall be requested by city or provided by applicant to demonstrate overall parking demand. |
| Recreation, Commercial–Outdoor | 10 <u>6</u> spaces per acre | Parking study can be requested by city or provided by applicant to demonstrate overall parking demand. |
| Recreational Vehicle Park | 1 space per RV parking space; 1 space per camping cabin; 1 space per 500 <u>600</u> square feet of administrative, maintenance, or commercial space; 2-1 <u>2-1</u> spaces per security dwelling | |
| Stadium or Arena, Public or Private | 1 space per 3 seats | Parking study can be requested by city or provided by applicant to demonstrate overall parking demand. |
| Theater, Indoor | 1 space per 3 seats | |
| Zoo, Public or Private | 10 <u>8</u> spaces per acre | |
| WHOLESALE | | |
| Wholesale and Warehousing, General | 1 space per 2,000 <u>2,400</u> square feet plus 1 space per 250 <u>300</u> square feet of office | |
| LIGHT INDUSTRIAL | | |
| Manufacturing, General | 1 space per 1,000 <u>1,200</u> square feet plus 1 space per 250 <u>300</u> square feet of office | |
| TRANSPORT, UTILITIES, & COMMUNICATIONS | | |
| Airport, General Aviation | 1 space per for every 2 <u>per for every 2</u> tie-downs and/or hangar spaces | |
| Automobile, RV, and Boat Storage, Commercial | 1 space per 250 <u>300</u> square feet of office plus 1 space per auto <u>vehicle</u> to be stored | |
| Freight Depot | 1 space per 1,000 <u>1,200</u> square feet plus 1 space per 250 <u>300</u> square feet of office | |

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| Helistop | Number of spaces to be determined by the Planning and Zoning Director | |
| Passenger Station | To be determined | Parking study shall be provided by applicant to demonstrate overall parking demand |
| Radio/Television Broadcast Studio | 1 space per 250 <u>300</u> square feet | |
| Utility Plant and Major Substations | To be determined | Parking study shall be requested by city or provided by applicant to demonstrate overall parking demand. |
| Wireless Telecommunication Facilities | Number of spaces to be determined by Planning and Zoning Director | |
| OTHER | | |
| <u>Mixed Uses, excluding Shopping Centers</u> | <u>The total requirement for off-street parking shall be the sum of the requirements of the various uses computed separately</u> | |
| Mobile Home, Temporary | 1 space per 250 <u>300</u> square feet plus additional spaces as determined by the Planning and Zoning Director | |
| Recreation, Accessory | Number of spaces to be determined by Planning and Zoning Director | |
| <u>Uses Not Specifically Mentioned</u> | <u>Apply requirements for a use which is mentioned and similar to the subject use</u> | |
| <i>Notes:</i> | | |
| <i>Square Feet = Gross Floor Area.</i> | | |
| <i>Parking Studies. Parking studies, when provided, to be conducted in a professionally accepted manner to determine adequate parking for proposed use.</i> | | |

Sec. 78-346. – Shared parking.

(a) *Permitted.* The city council, may, as part of an approval of a new or expanded use, new construction, substantial renovation, or alteration or expansion of an existing site, approve the use of shared parking to reduce overall parking requirements. The basis for approval of an application to establish shared parking includes the factors listed below.

- (1) Complementary uses. Use of a building or structure for two or more uses on the same parcel which possess complementary, rather than competing, peak hours of usage.

- (2) Shared parking study. Preparation, in a professionally-accepted manner, of a shared parking study by a qualified professional engineer, architect, or planner.
- (3) Legal documentation. The property owner(s) shall submit an appropriate restrictive covenant or access easement in recordable form acceptable to the City Attorney.
- (4) Development order. Any development order approved by the city council which includes the use of shared parking shall:
 - a. Provide the city a means to readdress the shared parking in the event future parking problems or changes in use occur;
 - b. Provide a legal description of the land and structures affected;
 - c. Provide for a term of at least five years;
 - d. Provide a site plan to indicate uses, hours of operation, parking, etc.; and
 - e. Assure the availability of all parking spaces affected by the agreement.

(4) Calculation of shared parking requirements

Amount of parking. The amount of parking provided pursuant to a shared parking agreement shall be determined as follows:

- a. Multiply the individual uses by the minimum required parking percentages per time period as contained in the five vertical columns of **Table 34**;
- b. Add the sum of the calculations; and
- c. The required parking is the largest number of spaces resulting from the calculations.

Table 34: Shared Parking Calculations

| USE | Weekday: Midnight to 6:00 am | Weekday: 9:00 am to 4:00 pm | Weekday: 6:00 pm to Midnight | Weekend: 9:00 am to 4:00 pm | Weekend: 6:00 pm to Midnight |
|-----------------------|------------------------------------|-----------------------------------|------------------------------------|-----------------------------------|------------------------------------|
| Residential | 100% | 60% | 90% | 80% | 90% |
| Office | 5% | 100% | 10% | 10% | 5% |
| Commercial and Retail | 5% | 70% | 90% | 100% | 70% |

| | | | | | |
|---------------|------|------|------|------|------|
| Hotel | 80% | 80% | 100% | 80% | 100% |
| Restaurant | 10% | 50% | 100% | 50% | 100% |
| Entertainment | 10% | 40% | 100% | 80% | 100% |
| Others | 100% | 100% | 100% | 100% | 100% |

- (5) Amount of parking. The amount of parking provided pursuant to a shared parking agreement shall not be more than twenty (20) percent of required parking.

Sec. XX-XX. – Off-Site Parking

- A. Prohibited: Off-site parking is prohibited except as specified in subsection B below.
- B. Exception: Off-site parking is permitted on *adjacent* parcels for the following uses.
 - a. Churches and Places of Worship
 - b. Stadium and Public Arenas.

Sec. 78-347. – Valet parking.

A request to establish valet parking shall be subject to the following criteria:

- (a) Valet parking area must be clear of fire lanes and Americans with Disabilities Act accessible parking spaces and/or accessible ramps.
- (b) Valet parking for restaurants and within retail commercial shopping centers shall not utilize more than twenty (20) percent of the on-site parking provided for the project.
- (c) The area of the valet parking shall be clear of driveways, drive aisles, and shall not modify the approved access circulation, unless otherwise approved by city staff.
- (d) Parking spaces reserved for valet parking shall be located at the portion of the parking lot farthest from the principal structure(s).
- (e) A request to establish valet parking shall include:
 - 1. The location of the valet booth/drop-off area;
 - 2. The location and number of parking spaces to be utilized for valet parking;

3. Consent of the property owner;
 4. The hours of operation; and
 5. Location and dimensions of any signage associated with the valet parking service.
- (f) This section is only applicable to restaurant and retail commercial shopping center projects. Golf clubhouses, clubhouses, hotels, hospitals, and medical and/or professional office buildings are exempt from the provisions of this section.

Secs. 78-348—78-360. – Reserved.

Subdivision II. – Loading Requirements

Sec. 78-361. – Required.

Off-street loading facilities shall be provided and maintained in the amount required in this subdivision.

Sec. 78-362. – Size and location of loading spaces.

- (a) *Minimum dimensions.* Off-street loading spaces shall comply with the minimum dimensions indicated below, or as otherwise determined by the city after the review of the use and site plan.
- (1) Overhead clearance: 15 feet.
 - (2) Minimum width: 12 feet.
 - (3) Minimum length: 35 feet long, exclusive of access or maneuvering areas, platforms and other appurtenances.
 - (4) Maneuvering apron. A maneuvering apron, a minimum of 12 feet wide and 35 feet long, shall be provided directly behind the loading space intended to serve, or as otherwise may be approved by the city.
- (b) *Location.* Except as otherwise provided, off-street loading facilities shall be located on the same property which they serve.
- (1) Residential zoning districts. Off-street loading facilities shall not be located within 100 feet of a residential zoning district.
 - (2) Enclosure. The city may require off-street loading facilities to be enclosed to minimize visual impacts, noise, and related effects on adjacent property owners.
 - (3) Refrigerated trucks. Refrigerated trucks, and other trucks which require compressors, engines, refrigeration equipment, and similar equipment to be continuously or periodically operational shall not park within two hundred fifty (250) feet of any residential zoning district during the hours of 7:00 p.m. to 7:00 a.m. on weekdays, and 7:00 p.m. to 9:00 a.m. on Saturday and Sunday.

- (c) *Circulation.* Access and maneuvering areas, ramps, and other vehicular circulation areas associated with such facilities shall not be located on a public or private street right-of-way. All vehicular circulation shall be so arranged that the vehicles are not required to back from the street into the facility nor required to back from the facility into a street or other public-right-of way.

Sec. 78-363. – Construction and maintenance.

Off-street loading facilities shall be constructed, maintained, and operated in accordance with the standards listed below:

- (a) *Drainage and paving.* Off-street loading facilities shall be properly graded for drainage and paved with concrete or asphaltic concrete acceptable to the city engineer.
- (b) *Maintenance.* Off-street loading facilities shall be maintained in good condition, free of weeds, dust, trash, and debris.
- (c) *Lighting.* Lighting facilities shall be so arranged that the source of light does not shine directly into adjacent residential properties or into traffic on adjoining streets.
- (d) *Entrances and exits.* Entrances and exits to the facility shall be located so as to minimize traffic congestion or prevent vehicles from backing from the street into the facility. Streets, alleys, or other public rights-of-way shall not be considered part of an off-street loading facility.
- (e) *Circulation.* In areas where access drives to off-street loading facilities occur in conjunction with off-street parking facilities that provide parking at street level for more than 600 cars, separate circulation routes within such facilities shall be maintained.
- (f) *Markings.* All off-street loading spaces shall be striped and clearly marked in a manner acceptable to

Sec. 78-364. – Number of loading spaces required.

- (a) *Minimum requirements.* Off-street loading facilities shall comply with the requirements of **Table 35** and shall be applicable to all structures containing commercial, business, industrial, manufacturing, storage, warehousing, processing, offices, hotels, hospitals, airports, railroad terminals, and similar uses as may be required by the planning and zoning director. Notwithstanding the requirements provided herein, structures less than 10,000 square feet may provide a loading space of a size and at such location as is consistent with the use of the structure.

Table 35: Required Off-Street Loading Spaces

| Size (Gross Square Feet) | Number of Spaces | |
|-----------------------------|------------------|-----------------------|
| | Office | Commercial/Industrial |
| 0 to 10,000 | 1* | 1* |
| 10,001 to 50,000 | 1 | 2 |
| 50,001 to 100,000 | 2 | 3 |
| Each additional 100,000 | 0.5 | 1 |

Note:

*Size and location to be determined during site plan review.

- (b) *Exceptions.* Hotels shall provide loading spaces based upon the number of rooms. An application for development order approval for a hotel, or which includes a hotel, shall provide a study documenting the number of loading spaces to be provided.

Sec. 78-365. – Shared use of loading facilities.

- (a) *Establishment.* Two or more neighboring uses may establish common off-street loading facilities, subject to approval by the city council. The total number of common off-street loading spaces shall not be less than the number required for individual users, unless otherwise approved by the city council. Criteria for reduction in the total number of off-street loading spaces include the following:
 - (1) Times of usage of the truck loading facilities by the individual users;
 - (2) The location of the proposed common facilities; and
 - (3) The character of the merchandise involved.
- (b) *Other requirements.* In order to establish common off-street loading facilities, the standards listed below are applicable.
 - (1) Consent. Written consent, in a form acceptable to the city attorney, is obtained from all affected property owners.
 - (2) Written agreement. All conditions relating to the use, location, construction, and maintenance of the common facilities will be provided in a form acceptable to the city attorney.
 - (3) Use of common facility. All users and property owners participating in a common off-street truck loading facility shall agree, in a form acceptable to the city attorney, that goods moved from the common facility shall not involve movement by truck, automobile, or other vehicle.

Secs. 78-366—78-370. – Reserved.

Subdivision III. – Supplemental Parking Requirements

Sec. XX-xxx *Lighting*. If the off-street parking facility contains ten or more spaces, exterior lighting, shall be provided, pursuant to **section 78-182**.

Sec. XX-xxx *Screening*. All parking facilities shall be screened from the adjoining uses as required in Article 4, Landscaping and Buffers. Tree limbs, signs, vegetation, or other obstructions shall not impede visibility between the heights of two and one-half (2½) feet and eight (8) feet above the pavement elevation at the entrances and exits of parking facilities.

Sec. XX-xxx *Prohibition of other uses*. Required off-street parking areas shall not be used for the following:

- (1) The sale, repair, dismantling, or servicing of any vehicle; or
- (2) The sale, repair, storage, or servicing of other equipment, materials, or supplies.
- (2) Criteria for reduction in parking space dimensions. Requests for reduction in parking space dimensions shall comply with the standards listed below.
 - a. *Additional open space*. Additional open space, at a ratio of 1.5 square feet for each square feet of paved parking area that is reduced through the use of smaller parking spaces shall be provided. The additional pervious open space shall be provided as additional landscaping, pedestrian amenities, or vegetative preserve areas, and shall be calculated and identified on the project site plan.
 - b. *Enhanced site appearance*. The additional open space and landscaping or related amenities required in this subsection shall be installed within the paved portions of the parking area.
- (3) Paving. Not less than the minimum dimensions of all parking spaces, travel aisles, and other vehicular circulation areas shall be paved. Use of specialty paver brick or surfaces may be approved by the city engineer.

Sec. 78-371. – Required parking for the physically handicapped.

- (a) *Required parking*. Handicapped parking, access ramps, and markings shall be provided as required by F.S. Section 316.1955.

Sec. 78-372. – Grassed parking.

Grassed parking areas may be approved by the city council for uses which have infrequent peak demand, subject to the standards and criteria established below.

- (a) *Application*. An application for the approval of grassed parking areas shall be submitted to the planning and zoning department in conjunction with any other application for development order approval. The application shall include the items listed below.

- (1) A written statement and a site plan showing the area proposed for grassed parking, and the proposed method of traffic control to direct vehicular flow and parking, including the use of wheel stops.
 - (2) A written statement documenting how the parking area proposed for grassed parking shall be used for parking on an average of not more than two days or nights each week. This information shall contain the following:
 - a. the proposed hours and days of the expected use of the grassed parking; and
 - b. the expected average daily traffic and peak hour traffic counts as calculated by a professional engineer.
 - (3) Description of the method to ensure that the grassed parking surface will be maintained in its entirety with a viable turf cover due to infrequency of use.
 - (4) A conceptual drainage plan for the entire parking area.
 - (5) Description of the soil type of the area proposed for grassed parking.
- (b) *Applicable standards.* The standards listed below shall apply to the review of application to construct and utilized grassed parking areas.
- (1) Only stalls provided for peak demand may be approved as grassed parking. Paved parking shall be provided for average daily traffic, including weekday employees and visitors.
 - (2) The city engineer may determine that site-specific factors, such as but not limited to soil type, exist, which necessitate that subsurface improvements be made to the area planned for grassed parking.
 - (3) Existing or proposed landscaped areas, surface water management areas, or easements other than a utility easements shall not be included in the proposed grassed parking area.
 - (4) Grassed parking areas shall not be utilized for handicapped parking spaces.
 - (5) Grassed parking areas shall meet all minimum interior landscaping requirements normally associated with standard surface parking.
 - (6) Grassed parking areas shall not be included in calculations to comply with minimum landscape or open space requirements.
 - (7) Within grassed parking areas, all access aisles shall either be:
 - a. paved and meet the same structural and surface requirements as for paved parking surfaces; or
 - b. surfaced with paver block or other semi-pervious materials approved by the city engineer.
 - (8) The city engineer may require grassed parking areas to be paved, landscaped, and otherwise improved consistent with the requirements of this division if such areas deteriorate and create a nuisance or hazardous conditions, or become unsightly.

Sec. 78-373. – Drive-through facilities.

- (a) *Design.* Drive-through facilities shall be designed to minimize conflicts between pedestrian and vehicular circulation, subject to the standards listed below.
- (1) Separation. Each drive-through lane shall be separated from the circulation routes necessary for ingress or egress from the property or access to any parking space.
 - (2) Marking. Each drive-through lane shall be striped, marked, or otherwise distinctly delineated in a manner acceptable to the city engineer.
 - (3) Queuing and stacking. The queuing or vehicle stacking capacity of a drive-through facility, including a gated entrance to a residential development, shall be as indicated in Table 6.A.1.D Minimum Queuing Standards. The stacking capacity may be increased based upon individual circumstances as determined by the city engineer.
 - (4) Bypass lanes. Bypass lanes shall be provided as specified in Sec. XX-xxx-16, Queuing and Bypass standards.
 - (5) Ordering and pickup facilities. The design and location of ordering and pickup facilities will be determined for a proposed use based on traffic engineering and planning data. Any request for a drive-through facility shall include the information listed below.
 - a. Nature of the product or service being offered.
 - b. Method by which the order is processed.
 - c. Peak demand hour.
 - d. Percentage of sales or business conducted via drive-through facilities.
 - e. Anticipated vehicular stacking required.
- (c) *Roofing.* Roofs constructed as part of a drive-through facility shall be consistent with the architectural style, materials, and colors of the principal structure.

Sec. 78-375. – Vehicle repair in residential districts.

The repairing of an automobile or a motor vehicle in a residential zoning district is subject to the restrictions listed below.

- (a) *Minor repairs.* Only minor repairs and maintenance as defined below may be performed outside of an enclosed garage:
- (1) The changing and replenishment of fluid levels, such as hydraulic fluid, windshield washer fluid, and lubricating oil;
 - (2) The replacement of wiper blades;
 - (3) The replacement of sparkplug and related parts;
 - (4) The rotation of tires and the checking of tire pressure; and
 - (5) The replacement of drive belts and hydraulic lines.

- (b) *Other repairs.* Any other repairs on the motor vehicle or automobile shall be restricted to completely enclosed garage and shall be performed on privately registered vehicles having current state license plates, or motor vehicles designated by the state as qualifying for an antique or horseless carriage designation.
- (c) *Location of repair.* The repairs shall be performed only at the address shown on the vehicle registration.
- (d) *Commercial repairs.* Use of property for commercial repairs of automobiles or motor vehicles commercial nature is prohibited.

Sec. 78-376. – Outdoor storage areas.

Screening of accessory open storage yards shall comply with the standards listed below.

- (a) *Public rights-of-way.* Outdoor storage areas shall be screened from view of any street.
 - (1) When an outdoor storage area abuts a street, the method of screening shall consist of solid walls or solid fences at least six feet in height, with access from such streets only through solid gates. Gates shall be closed when not in use. Shielding shall extend at 100 feet back from the street property line, unless an existing permanent structure shields the storage area.
 - (2) When an outdoor storage area abuts a residential zoning district or property which possesses a residential future land use designation, the method of screening shall consist of solid walls or fences at least six feet in height along the boundary of the storage areas and the entire residential district. Gates shall be opaque, of the same style as the screening wall, and closed when the access is not in use.
 - (3) When an outdoor storage area is within 200 feet of a residential district, the method of screening shall consist of solid walls or fences at least six feet in height and located in such a manner that the storage area is not visible from the residential district. Gates shall be opaque, of the same style as the screening wall, and closed when the access is not in use.

Sec. 78-380. – Use of buildings as sales models.

- (a) *Sales models permitted.* A builder, contractor, or developer may use any building within any zoning district as a sales model. Use of a building as a sales model is contingent upon issuance of a certificate of occupancy and compliance with this section.
- (b) *Purpose.* A building shall be used as a sales model solely for the purpose of the sale of similar buildings and land sites by the builder, contractor, or developer. The sales model shall not be used as a construction office. Construction equipment, materials, supplies, or vehicles shall not be parked or stored temporarily or permanently on a model home lot or premises.
- (c) *Limits.*

- (1) Public improvements. Public access to sales models shall not be allowed until substantial completion of roadway improvements to provide legal access to the models, and subject to reasonable conditions by the city, the installation of water and sewer services.
 - (2) Sale of services and materials. A sales model shall not be used as an area for the sale of services by or for an interior decorator, or for storage or display of bulk quantities of building products used for construction.
- (d) *Time limits.* The time period that a building may be used as a model is indicated below.
- (1) Nonresidential zoning districts. There shall be no time limit for nonresidential sales models in a commercial zoning district.
 - (2) Arterial street location. Sales models or model homes in a residential zoning district that are located on a major arterial street are permitted for a period not to exceed five years.
 - (3) Sales models shall be converted to residential use within six (6) months from the time at which 90 percent (90%) or more of the total number of lots in a residential development have been improved.
- (e) *Moratorium.* If a residential building moratorium is enacted by the city, the time limits in this section shall be tolled and the length of the moratorium shall not be included as part of the limits in this section.
- (f) *Notice.* The building official shall notify in writing the builder, contractor, or developer that a structure may be used as a sales model. The written notice shall include the details of the approval, including date of issuance, property address, and name of the property owner. Information regarding sales models shall be retained in a permanent log to be maintained by the building official.

Sec. 78-381. – Electric vehicle charging stations.

Electric vehicle charging stations are permitted in all nonresidential zoning districts.

An electric vehicle charging station space may be included in or count towards the minimum number of parking spaces required pursuant to **section 78-345**.

Subdivision IV. – Parking and Storage of Commercial Vehicles, Buses, Trailers, Trucks, Recreational Vehicles, Watercraft, and Portable Storage Units

Sec. 78-391. – Parking and storage of commercial vehicles, buses, trailers, trucks, recreational vehicles, watercraft, and portable storage units.

The purpose of this subdivision is to preserve the quality of residential areas in the city by restricting and regulating the parking and storage of commercial vehicles, trailers, trucks, recreational vehicles, watercraft, and portable storage units **in residential districts**.

Sec. 78-392. – Parking and storage of portable storage units **in residential zoning districts.**

- (a) *Time limitation.* The temporary use and placement of a portable storage unit for the loading or unloading of items to or from the unit or residence is permitted **on residential property** for a period not to exceed fourteen (14) consecutive days. The planning and zoning director or designee may grant one (1) extension not to exceed fourteen (14) additional consecutive days for good cause. Only one (1) portable storage unit per **residential premises** is permitted in any twelve (12)-month period unless there is a change of ownership of the **residential premises** during such twelve (12)-month period.
- (b) *Placement.* The placement of the portable storage unit shall be on either the driveway or approved parking area surface and shall be accomplished in such a manner that no landscaping is damaged as a result. Portable storage units shall not be placed within any right-of-way or over any easement.
- (c) *Removal of portable storage units during tropical storm watch or warning and hurricane warning or watch required.* In the event the National Weather Service, National Hurricane Center, or appropriate weather agency declares a tropical storm watch or warning or a hurricane watch or warning that would impact the City of Westlake, all portable storage units located within the city shall be immediately removed from the property so as not to create a safety hazard because of hurricane or tropical storm force winds. The removal and replacement of any portable storage unit pursuant to this subsection shall not count toward the twelve (12)-month limitation period as set forth in subsection (a) above nor shall compliance with this subsection diminish the total number of days allowed.

Sec. 78-393. – Parking and storage restrictions for commercial vehicles.

All commercial vehicles shall be prohibited from being parked or stored in a residential district, unless subject to one of the exceptions listed in this subdivision.

Sec. 78-394. – Exceptions for commercial vehicles.

The parking and storage restrictions established in this subdivision shall not apply in the situations listed below.

- (a) *Construction sites.* Restricted vehicles parked temporarily at a site undergoing construction, for which a current and valid building permit has been issued by the city. The restricted vehicle may remain at the construction site only as long as necessary. However, under no circumstances shall the restricted vehicle remain after completion of the construction or expiration of the building permit, whichever occurs first.
- (b) *Sales office use.* The use of a restricted vehicle as a sales office on an approved development site, subject to all provisions of this subdivision pertaining to such use.
- (c) *Security.* The use of a restricted vehicle as a security facility, subject to all provisions of this subdivision pertaining to such use.

- (d) *Deliveries and service calls.* The use of a restricted vehicle for deliveries, service calls, and other related trade services, provided such use is limited to the reasonable time necessary to complete a delivery or service.
- (e) *Disabled vehicles.* A restricted vehicle which becomes disabled and, as a result of such status, cannot reasonably comply with this subdivision. Such vehicle shall be removed from the residential district within 48 hours of the disabling incident, regardless of the nature of the disabling incident.
- (f) *Public safety.* A restricted vehicle which is owned, maintained, or operated by an agency of government for the purpose of public safety.
- (g) *Enclosed parking.* A restricted vehicle which is parked or stored in a fully-enclosed garage facility.

Sec. 78-395. – Recreational vehicles and watercraft.

- (a) *Storage.* Recreational vehicles and watercraft shall be stored in a fully-enclosed garage facility.
- (b) *Loading and unloading.* An RV or watercraft may be permitted in the front yard of a lot for one 24-hour period to permit loading or unloading. This period may be extended by the planning and zoning director.
- (c) *Residential use prohibited.* Under no circumstances shall an RV or watercraft, parked or stored pursuant to this subdivision, be used for temporary or permanent residential purposes, including living, sleeping, or other similar occupancy, or storage in any manner.
- (d) *Watercraft and trailers.* For the purposes of this subdivision, when a watercraft is parked, stored, or resting on a trailer or similar device used or intended for storage or transportation, the watercraft and the trailer shall be considered a single unit and subject to the regulations and restrictions applicable to a watercraft.

Sec. 78-397. – Enforcement.

Compliance with this subdivision shall be enforced through and by the code compliance division. The code enforcement division is authorized to remove noncompliant vehicles and watercraft pursuant to the provisions of state law.

Subdivision V. – Bicycle Parking

Sec. 78-411. – Intent.

The bicycle parking requirements established in this subdivision are intended to encourage the use of bicycles as a means of transportation in the city. By encouraging the use of bicycles, the public health, safety and welfare will be furthered through improved air quality, reduced energy consumption, and more efficient use of vehicular parking facilities.

Sec. 78-412. – Location requirements.

All bicycle parking facilities provided to satisfy the requirements of this subdivision shall be located on the same lot or building site as the uses they serve. Bicycle parking shall be located as close as is practical to the entrance to the use served but situated so as not obstruct the flow of pedestrians using the building entrance or sidewalk.

Sec. 78-413. – Design requirements.

Bicycle parking facilities shall be designed as provided below.

- (a) General design standards. All bicycle parking facilities shall be of at least class III design, as defined in this Code, and shall be anchored so as to avoid or deter easy removal. All such facilities shall be clearly identified as available for bicycle parking. Wherever the design of the building or use being served by the bicycle parking facility includes covered areas which could accommodate such facilities, either as proposed or through economical redesign, covered bicycle parking shall be encouraged.
- (b) Dimensions. All bicycle parking spaces shall be not less than two feet wide and six feet long.

Sec. 78-414. – Number of spaces required.

The following uses shall be required to provide bicycle parking in accordance with the minimum standards as listed in **Table 38.**

Table 38: Minimum Standards for Bicycle Parking

| Use | Percent of Required Vehicular Parking Spaces |
|-----------------------------------|--|
| Amusement parlors | 15 |
| Bowling lanes | 10 |
| Child care centers | 10 |
| Community centers | 15 |
| Game rooms | 12 |
| Libraries | 15 |
| Recreation, outdoor | 12 |
| All commercial uses not listed | 5 |
| All institutional uses not listed | 5 |

Sec. 78-415. – Reduction or waiver of requirements.

The city council may reduce or waive the requirements in this subdivision if it determines there is insufficient need for the amount of bicycle parking required under this subdivision.

Sec. 78-315. - Landscaping and screening for vehicular parking areas

Landscaping and screening for vehicular parking areas shall comply with City of Westlake Land Development Regulations, Chapter 4.6, Off-street Parking, Vehicular Use Area Screening, and Street Tree Plantings.

Current Westlake ULDC Parking Requirements Table

Table 6.A.1.B - Minimum Off-Street Parking and Loading Requirements

| Use Type: Residential | Parking | Loading (1) |
|---|---|-------------|
| Single-family, Zero lot line home, Townhouse, or Mobile home dwelling | 2 spaces per unit | N/A |
| Multi-family | 1 space per efficiency unit; 2 spaces per unit (one bedroom or more); plus 1 guest parking space per 4 units with common parking areas. | N/A |
| Accessory dwelling | 1 space per unit | N/A |
| Congregate living facility, Type 1, Type 2, Type 3 | 1 space per unit or 2 beds whichever is greater; plus 1 space per 200 sq. ft. of office space | D |
| Farm residence | 2 spaces per unit | N/A |
| Farm worker quarters | 1 space per 4 units or | N/A |
| Garage sale | N/A | N/A |
| Guest cottage | 1 space per cottage | N/A |
| Home occupation | N/A | N/A |
| kennel, Type I (Private) | 1 space per 500 sq. ft. of cage or kennel area. | N/A |
| Nursing or convalescent facility | 1 space per 3 beds; plus 1 space per 200 sq. ft. of office space | D |
| Security or caretaker quarters | 1 space per unit | N/A |
| Loading Key: | | |
| Standard "A" One space for the first 5,000 square feet of GFA, plus one for each additional 30,000 square feet of GFA | | |
| Standard "B" One space for the first 10,000 square feet of GFA, plus one for each additional 15,000 square feet of GFA | | |
| Standard "C" One space for the first 10,000 square feet of GFA, plus one for each additional 100,000 square feet of GFA | | |
| Standard "D" One space for each 50 beds for all facilities containing 20 or more beds. | | |
| Standard "E" One space for the first 10,000 square feet of GFA, plus one for each additional 20,000 square feet of GFA. | | |
| The space shall be a minimum of 12 feet in width and 18.5 feet in length for uses that require limited loading. | | |

Table 6.A.1.B - Minimum Off-Street Parking and Loading Requirements - Cont'd

| Use Type: Commercial | Parking | Loading (1) |
|--|--|-------------|
| Adult entertainment | 1 space per 200 sq. ft. | N/A |
| Auction, enclosed | 1 space per 200 sq. ft. | C |
| Auction, outdoor | 1 space per 250 sq. ft. of enclosed or indoor space | N/A |
| Auto paint or body shop | 1 space per 200 sq. ft. | E |
| Bed and breakfast | 1 additional space for each guest room | N/A |
| Broadcast studio | 1 space per 1,000 sq. ft. | N/A |
| Building supplies | 1 space per 200 sq. ft. | B |
| Butcher shop, wholesale | 1 space per 1,000 sq. ft. | A |
| Car wash | 1 space per 200 sq. ft. of office, retail, or indoor seating area | N/A |
| Automatic self service | | |
| Catering service | 1 space per 200 sq. ft. | E |
| Contractor storage yard | 1 space per 500 sq. ft.; plus 1 space per 5,000 sq. ft. of outdoor storage area | A |
| Convenience store, w/ or w/o gas | 1 space per 200 sq. ft. | C |
| Day labor employment service | 1 space per 250 sq. ft. | C |
| Dispatching office | 1 space per 250 sq. ft. | N/A |
| Dog day-care | 3 - 12' x 20' transient spaces for 50 dogs; 1 space per 500 sq. ft. of cage and retail area | E |
| Financial institution | 1 space per 200 sq. ft. | E |
| Freestanding ATM | 2 spaces (9) | N/A |
| Flea market, enclosed | 2 spaces per 200 sq. ft. | C |
| Flea market, open | 1 space per 250 sq. ft. of affected land area | N/A |
| Funeral home | 1 space per 4 seats | C |
| Gas and Fuel, Retail | 1 space per 250 sq. ft. | N/A |
| Green Market | | |
| Temporary | N/A | N/A |
| Permanent | 1 space per 250 sq.ft. | A |
| Hotel, motel, SRO, rooming and boarding | 1.25 spaces per room; (convention areas, restaurants, etc. over 2,000 sq. ft. to be calculated separately) | C |
| Kennel, Type II or III (Commercial) | 1 space per employee; and, 1 space for each 200 sq. ft. of sale, grooming or office area. | E (8) |
| Kiosk | N/A | N/A |
| [Ord. 2009-040] [Ord. 2011-016] [Ord. 2012-027] [Ord. 2013-021] | | |
| Loading Key: | | |
| Standard "A" One space for the first 5,000 square feet of GFA, plus one for each additional 30,000 square feet of GFA. | | |
| Standard "B" One space for the first 10,000 square feet of GFA, plus one for each additional 15,000 square feet of GFA. | | |
| Standard "C" One space for the first 10,000 square feet of GFA, plus one for each additional 100,000 square feet of GFA. | | |
| Standard "D" One space for each 50 beds for all facilities containing 20 or more beds. | | |
| Standard "E" One space for the first 10,000 square feet of GFA, plus one for each additional 20,000 square feet of GFA | | |
| The space shall be a minimum of 12 feet in width and 18.5 feet in length for uses that require limited loading. | | |

Table 6.A.1.B - Minimum Off-Street Parking and Loading Requirements - Cont'd

| Use Type: Commercial | Parking | Loading (1) |
|--|---|-------------|
| Landscape service | 1 space per 500 sq. ft.; plus 1 space per 2,500 sq. ft. of outdoor storage area | A |
| Laundry services | 1 space per 200 sq. ft. | N/A |
| Lounge, cocktail | 1 space per 3 seats | C |
| Medical or dental office | 1 space per 200 sq. ft. | C |
| Monument sales, retail | 1 space per 500 sq. ft.; plus 1 space per 2,500 sq. ft. of outdoor storage area | E |
| Office, business or professional | 1 space per 200 sq. ft. | C |
| Pawn shop | 1 space per 200 sq. ft. | C |
| Personal services | 1 space per 200 sq. ft. | N/A |
| Printing and copying services | 1 space per 250 sq. ft. | B |
| Repair and maintenance, general | 1 space per 250 sq. ft. | B |
| Repair services, limited | 1 space per 250 sq. ft. | N/A |
| Restaurant, Type I | 1 space per 3 seats including outdoor seating area | C |
| Restaurant, Type II | | C |
| Retail sales, auto parts | 1 space per 200 sq. ft. | C |
| Retail sales, general | 1 space per 200 sq. ft. | C |
| Retail sales, mobile or temporary | Enclosed: 1 space per 200 sq. ft. Open: 50 spaces total or 10 spaces per acre, whichever is greater | N/A |
| Self-service storage | 1 space per 200 storage bays; minimum of 5 customer spaces; security quarters calculated separately | C |
| Shopping centers | 5 spaces per 1,000 sq. ft. GFA (centers up to 500,000 sq. ft.); 5 spaces per 1,000 sq. ft. of GLA (centers over 500,000 sq. ft.) | B |
| Theater, drive-in | 1 space per 250 sq. ft. | N/A |
| Theater, indoor | 1 space per 3 seats | B |
| Theater, indoor, in-line | 1 space per 3 seats; plus 1 space per employee | B |
| Theater, indoor, stand alone | 1 space per 4 seats; plus 1 space per employee | B |
| Towing service and storage | 1 space per 500 sq. ft.; plus 1 space per 5,000 sq. ft. of outdoor storage area | A |
| Vehicle sales and rental | 1 space per 250 sq. ft. of enclosed area; plus 1 space per 5,000 sq. ft. of outdoor sales, rental and display area; plus 2 spaces per service bay | A |
| Veterinary clinic | 1 space per 200 sq. ft., excluding animal exercise areas | N/A |
| Vocational school | 1 space per classroom; plus 1 space per 4 students; plus 1 space per 200 sq. ft. of administration, and assembly areas | N/A |
| [Ord. 2005-041] [Ord. 2006-004] [Ord. 2008-037] [Ord. 2010-009] | | |
| Loading Key: | | |
| Standard "A" One space for the first 5,000 square feet of GFA, plus one for each additional 30,000 square feet of GFA. | | |
| Standard "B" One space for the first 10,000 square feet of GFA, plus one for each additional 15,000 square feet of GFA. | | |
| Standard "C" One space for the first 10,000 square feet of GFA, plus one for each additional 100,000 square feet of GFA. | | |
| Standard "D" One space for each 50 beds for all facilities containing 20 or more beds. | | |
| Standard "E" One space for the first 10,000 square feet of GFA, plus one for each additional 20,000 square feet of GFA. | | |
| The space shall be a minimum of 12 feet in width and 18.5 feet in length for uses that require limited loading. | | |

Table 6.A.1.B - Minimum Off-Street Parking and Loading Requirements - Cont'd

| Use Type: Public/Civic | Parking | Loading (1) |
|--|---|-------------|
| Airport, landing strip or heliport | 1 space per tie-down and hangar space, minimum of 5 spaces | C |
| Assembly, nonprofit institutional or membership (5) | 1 space per 3 seats or 200 sq. ft. for the principal place of assembly, whichever is greater. | A |
| | 1 space per 200 sq. ft. for permitted accessory uses not otherwise classified as collocated uses. | |
| | Collocated uses classified with the definition of a use listed in Art. 4.B.1, Uses, calculated separately. | |
| Cemetery | 1 space per 200 sq. ft. of office space; plus 1 space per 500 sq. ft. of maintenance area; plus a minimum of 5 public spaces. | N/A |
| Place of worship | 1 space per 3 seats or 200 sq. ft. for the principal place of worship, whichever is greater. | A |
| | 1 space per 200 sq. ft. for permitted accessory uses not otherwise classified as collocated uses. | |
| | Collocated uses classified with the definition of a use listed in Art. 4.B.1, Uses, calculated separately. | |
| | Uses such as retreats, rectories, convents or seminaries shall use CLF parking and loading. | |
| College or university | 1 space per 2 students; plus 1 space per 4 seats in gymnasiums and auditoriums; plus 1 space per 200 sq. ft. of administrative and educational office space | C |
| Day camp | <100 licensed capacity: 1 space per 5 persons; plus 1 drop off stall per 20 persons | E |
| | >100 licensed capacity: 1 space per 10 persons; plus 1 drop off stall per 20 persons | |
| Day care, general | <100 licensed capacity: 1 space per 5 persons; plus 1 drop off stall per 20 persons | E |
| | >100 licensed capacity: 1 space per 10 persons; plus 1 drop off stall per 20 persons | |
| Day care, limited | 1 space per 250 sq. ft.; plus drop off stall | E |
| Government services (2) | 1 space per 500 sq. ft.; or 1 space per 3 seats, whichever is greater | N/A |
| Homeless Resource Centers | 1 space per 200 sq. ft. of accessory service delivery areas | E |
| Hospital or medical center | 1 space per 2 beds; plus 1 space per 200 sq. ft. of outpatient treatment area | D |
| School, private and charter | 1 space per employee, 1 visitor space for every 50 students, 1 space for every 5.5 students in 11th and 12th grade; Auditorium or stadium- 1/3 seats | C |
| School, public | In accordance with the State Department of Education requirements for educational facilities | C |
| [Ord. 2006-004] [Ord. 2006-013] [Ord. 2009-040] | | |
| Loading Key: | | |
| Standard "A" One space for the first 5,000 square feet of GFA, plus one for each additional 30,000 square feet of GFA. | | |
| Standard "B" One space for the first 10,000 square feet of GFA, plus one for each additional 15,000 square feet of GFA. | | |
| Standard "C" One space for the first 10,000 square feet of GFA, plus one for each additional 100,000 square feet of GFA. | | |
| Standard "D" One space for each 50 beds for all facilities containing 20 or more beds. | | |
| Standard "E" One space for the first 10,000 square feet of GFA, plus one for each additional 20,000 square feet of GFA. | | |
| The space shall be a minimum of 12 feet in width and 18.5 feet in length for uses that require limited loading. | | |

Table 6.A.1.B - Minimum Off-Street Parking and Loading Requirements - Cont'd

| Use Type: Recreational | Parking | Loading (1) |
|---|---|-------------|
| Arena, auditorium or stadium | 1 space per 3 seats | B |
| Bowling alley | 3 spaces per lane | N/A |
| Campground | 1 space per campsite | N/A |
| Clubhouse (Recreational Pod) (7) | 1 space per 300 sq. ft. of air conditioned area (includes all interior uses); and 1 bicycle parking rack shall be provided | N/A |
| Entertainment, indoor (except bowling alley) | 1 space per 200 sq. ft. or 1/3 seats, whichever is greater | N/A |
| Entertainment, outdoor | 1 space per 3 seats; or 10 spaces per acre occupied by amusements, whichever is greater | N/A |
| Fitness center | 1 space per 200 sq. ft. | N/A |
| Golf course (7) | 4 spaces per hole; plus 1 space per 250 sq. ft. of clubhouse | N/A |
| Gun club, enclosed and Shooting Range, Outdoor | 1 space per target area | N/A |
| Marine facility | 1 space per 250 sq. ft.; plus 1 space per wet slip; plus one space per 3 dry slips | A |
| Park, passive | 2 spaces for the first acre; plus 1 space for each additional 2 acres; additional parking shall be provided for each additional facility or land use constructed in the park as herein provided | N/A |
| Special event | 1 space per 3 seats; or 10 spaces per acre occupied by amusements, whichever is greater | N/A |
| Swimming pool (7) | 1 space per 200 sq. ft. of pool area; and 1 bicycle parking rack shall be provided | N/A |
| Tennis Courts (5)(7) And Basketball Courts (7) | 1.5 spaces per court; and 1 bicycle parking rack shall be provided | N/A |
| Zoo | 1 space per 2,000 sq. ft. of land area | N/A |
| [Ord. 2005-002] [Ord. 2007-001] [Ord. 2012-007] [Ord. 2014-025] | | |
| Loading Key: | | |
| Standard "A" One space for the first 5,000 square feet of GFA, plus one for each additional 30,000 square feet of GFA. | | |
| Standard "B" One space for the first 10,000 square feet of GFA, plus one for each additional 15,000 square feet of GFA. | | |
| Standard "C" One space for the first 10,000 square feet of GFA, plus one for each additional 100,000 square feet of GFA. | | |
| Standard "D" One space for each 50 beds for all facilities containing 20 or more beds. | | |
| Standard "E" One space for the first 10,000 square feet of GFA, plus one for each additional 20,000 square feet of GFA The space shall be a minimum of 12 feet in width and 18.5 feet in length for uses that require limited loading. | | |

Table 6.A.1.B - Minimum Off-Street Parking and Loading Requirements - Cont'd

| Use Type: Agriculture | Parking | Loading (1) |
|--|---|-------------|
| Agriculture, bona fide | 1 space per 1,000 sq. ft. | B |
| Accessory Agricultural Uses (U-Pick Em Operations) | | |
| Agriculture Marketplace | 1 space per 200 sq. ft. including outdoor display area | A |
| Agriculture, light manufacturing | 1 space per 1,000 sq. ft. | B |
| Agriculture, Renewable Fuels Production | 1 space per 1,000 sq. ft. | B |
| Agriculture, research/development | 1 space per 1,000 sq. ft. | B |
| Agriculture, sales and service | 1 space per 250 sq. ft. | A |
| Agriculture, storage | 1 space per 1,000 sq. ft. | A |
| Agriculture use, accessory | 5 spaces or 1 space per employee, whichever is greater | N/A |
| Agriculture, transshipment | 1 space per 2,000 sq. ft. | A |
| Aviculture | 1 space per 200 sq. ft. | E |
| Community vegetable garden | 4 spaces per garden (10) | N/A |
| Equestrian arena, commercial | 1 space per 3 seats | N/A |
| Grooms quarters | 1 space per unit | N/A |
| Farrier | 1 space per 1,000 sq. ft. | N/A |
| Nursery, retail | 1 space per 500 sq. ft. of indoor or covered retail and office areas plus 1 space per 4 acres if the nursery is 20 acres or less, or 1 space per 5 acres if the nursery is greater than 20 acres. | B |
| Nursery, wholesale | 1 space per 4 acres if the nursery is 20 acres or less, or 1 space per 5 acres if the nursery is greater than 20 acres.(3) (4) | B |
| Packing plant | 1 space per 2,000 sq. ft. | A |
| Potting soil manufacturing | 2 spaces per acre; minimum of 5 spaces | A |
| Produce stand, permanent | 1 space per 200 sq. ft. including outdoor sales display area | N/A |
| Produce stand, temporary | 2 spaces per 200 sq. ft. including outdoor sales display area | N/A |
| Shadehouse | N/A | N/A |
| Commercial Greenhouse | 1 space per acre of greenhouse | C |
| Stable, commercial or private | 1 space per 500 sq. ft.; plus 1 space per 4 animal stalls | N/A |
| Sugar mill or refinery | 1 space per 2,000 sq. ft.; plus 1 space per 200 sq. ft. of office space | N/A |
| [Ord. 2006-004] [Ord. 2006-036] [Ord. 2012-027] [Ord. 2015-031] | | |
| Loading Key: | | |
| Standard "A" One space for the first 5,000 square feet of GFA, plus one for each additional 30,000 square feet of GFA. | | |
| Standard "B" One space for the first 10,000 square feet of GFA, plus one for each additional 15,000 square feet of GFA. | | |
| Standard "C" One space for the first 10,000 square feet of GFA, plus one for each additional 100,000 square feet of GFA. | | |
| Standard "D" One space for each 50 beds for all facilities containing 20 or more beds. | | |
| Standard "E" One space for the first 10,000 square feet of GFA, plus one for each additional 20,000 square feet of GFA. | | |
| The space shall be a minimum of 12 feet in width and 18.5 feet in length for uses that require limited loading. | | |

Table 6.A.1.B - Minimum Off-Street Parking and Loading Requirements - Cont'd

| Use Type: Utilities and Excavation | Parking | Loading (1) |
|--|--|-------------|
| Air curtain incinerator | 2 spaces per acre; minimum of 5 spaces | N/A |
| Air stripper, remedial | N/A | N/A |
| Chipping and mulching | 2 spaces per acre; minimum of 5 spaces | N/A |
| Cell site on wheels (COW) mobile | Exempt from parking regulations unless otherwise required by Zoning Director | N/A |
| Communication panels, or antennas, commercial | Exempt from parking regulations unless otherwise required by Zoning Director | N/A |
| Communication tower, commercial | Exempt from parking regulations unless otherwise required by Zoning Director | N/A |
| Composting facility | 2 spaces per acre; minimum of 5 spaces | N/A |
| Electric power facility | 1 space per 200 sq. ft. of office space; plus 1 space per 10,000 sq. ft. | N/A |
| Excavation, agriculture | N/A | N/A |
| Excavation | N/A | N/A |
| Incinerator | 1 space per 200 sq. ft. of office space; plus 1 space per 10,000 sq. ft. | N/A |
| Recycling center | 1 space per 200 sq. ft. of office space; plus one space per 250 sq. ft. of warehouse and maintenance area; plus 1 space per 10,000 sq. ft. | N/A |
| Recycling Drop-Off Bin | 1 space per bin | N/A |
| Recycling plant | 1 space per 200 sq. ft. of office space; plus 1 space per employee | N/A |
| Renewable Energy Facility, Solar | 1 space per site; and 1 space per 200 sq. ft. of office space | N/A |
| Renewable Energy Facility, Wind | Exempt from parking requirements for unmanned Wind Turbines or MET Towers, unless otherwise required by the Zoning Director | N/A |
| Sanitary landfill | 1 space per 200 sq. ft. of office space; plus 1 space per employee | N/A |
| Solid waste transfer station | 1 space per 1,000 sq. ft. | N/A |
| Utility, minor | 1 space per minor utility | N/A |
| Water or wastewater treatment plant | 1 space per 200 sq. ft. of office space; plus 1 space per employee | N/A |
| [Ord. 2009-040] [Ord. 2010-005] [Ord. 2011-016] | | |
| Loading Key: | | |
| Standard "A" One space for the first 5,000 square feet of GFA, plus one for each additional 30,000 square feet of GFA. | | |
| Standard "B" One space for the first 10,000 square feet of GFA, plus one for each additional 15,000 square feet of GFA. | | |
| Standard "C" One space for the first 10,000 square feet of GFA, plus one for each additional 100,000 square feet of GFA. | | |
| Standard "D" One space for each 50 beds for all facilities containing 20 or more beds. | | |
| Standard "E" One space for the first 10,000 square feet of GFA, plus one for each additional 20,000 square feet of GFA. | | |
| The space shall be a minimum of 12 feet in width and 18.5 feet in length for uses that require limited loading. | | |

Table 6.A.1.B - Minimum Off-Street Parking and Loading Requirements - Cont'd

| Use Type: Industrial | Parking | Loading (1) |
|--|--|-------------|
| Asphalt or concrete plant | 1 space per 1,000 sq. ft. | N/A |
| Data information processing | 1 space per 100 sq. ft. | A |
| Gas and fuel, wholesale | 1 space per 250 sq. ft. | N/A |
| Heavy industry | 2 spaces per 1,000 sq. ft. of first 10,000 sq. ft.; plus 1 space per 1,000 sq. ft. over 10,000 sq. ft. | A |
| Laboratory, industrial research | 2 spaces per 1,000 sq. ft. of first 10,000 sq. ft.; plus 1 space per 1,000 sq. ft. over 10,000 sq. ft. | A |
| Machine or welding shop | 1 space per 200 sq. ft. | C |
| Manufacturing and processing | 2 spaces per 1,000 sq. ft. of first 10,000 sq. ft.; plus 1 space per 1,000 sq. ft. over 10,000 sq. ft. | A |
| Medical or dental laboratory | 1 space per 200 sq. ft. | C |
| Motion picture production studio | 2 spaces per 1,000 sq. ft. of first 10,000 sq. ft.; plus 1 space per 1,000 sq. ft. over 10,000 sq. ft. | A |
| Salvage or junk yard | 1 space per 200 sq. ft. of office space; plus 1 space per employee | A |
| Transportation facility | 1 space per 200 sq. ft. of office space | N/A |
| Truck stop | 1 truck space per 80 sq. ft. | N/A |
| Warehouse | 1 space per 1,000 sq. ft.; plus 1 space per 200 sq. ft. of office space | A |
| Wholesaling, general | 1 space per 1,000 sq. ft. | A |
| Loading Key: | | |
| Standard "A" One space for the first 5,000 square feet of GFA, plus one for each additional 30,000 square feet of GFA. | | |
| Standard "B" One space for the first 10,000 square feet of GFA, plus one for each additional 15,000 square feet of GFA. | | |
| Standard "C" One space for the first 10,000 square feet of GFA, plus one for each additional 100,000 square feet of GFA. | | |
| Standard "D" One space for each 50 beds for all facilities containing 20 or more beds. | | |
| Standard "E" One space for the first 10,000 square feet of GFA, plus one for each additional 20,000 square feet of GFA. The space shall be a minimum of 12 feet in width and 18.5 feet in length for uses that require limited loading. | | |
| Notes: | | |
| 1. In addition to the parking requirements of Table 6.B.1.B, Minimum Off-Street Parking and Loading Requirements, uses with company vehicles shall provide 1 space per company vehicle. | | |
| 2. Government services may request alternative calculation methods for off-street parking pursuant to Art. 6.A.1.D.1.h, Government services. | | |
| 3. Nurseries requiring fewer than 20 parking spaces may construct surface parking lots with shellrock or other similar materials subject to, or grassed subject to Art. 6.A.1.D.12, Grass Parking, except for the required handicapped parking space(s). | | |
| 4. Nurseries requiring 20 or more parking spaces may construct surface parking lots with 50 percent of the required spaces as shellrock or other similar materials subject to Art. 6.A.1.D.14.b.4.a, Shellrock, or grassed subject to Art. 6.A.1.D.12, Grass Parking. [2007-010] | | |
| 5. Assembly, nonprofit, institutional uses in the Redevelopment and Revitalization Overlay may calculate parking at a rate of one space per employee. | | |
| 6. Limited access facilities must provide off-street loading spaces as indicated in Art. 4.B.1.A.120.d.2), Loading. [Ord. 2005-041] | | |
| 7. Golf cart parking may be used pursuant to Art. 6.A.1.D.7, Golf Cart Parking [Ord. 2007-001] [Ord. 2013-001] | | |
| 8. The loading zone may be waived for a Type II or III Commercial Kennel operated as an accessory use to general retail sales. [Ord. 2006-036] | | |
| 9. Each walk-up Freestanding ATM shall require a minimum of one (1) parking space for persons with disabilities. [Ord. 2013-021] | | |
| 10. Parking may not be required for a Community Vegetable Garden subject to submittal of parking demand study and approval of a Type I Waiver. [Ord. 2015-031] | | |

C. Definitions

See Art. 1.1, Definitions and Acronyms